

Ernest Sawyer

**AMENDMENT NO. 2
TO THE
DECLARATION OF CONDOMINIUM OWNERSHIP
FOR
CROSSINGS AT NORTHWEST**

This will certify that copies of this Amendment No. 2 to the Declaration of Condominium Ownership for Crossings at Northwest were filed in the Fiscal Office of Summit County, Ohio, on _____, 2003.

Approved as to form:

JOHN A. DONOFRIO *4/18/03*

This instrument prepared by:
Attorney Grant M. Yoakum (#0063285)
Buckingham, Doolittle & Burroughs, LLP
1375 E. 9th Street - Suite 1700
Cleveland, Ohio 44114
(216) 621-5300


John A Donofrio, Summit Fiscal Officer

54858107
Pg: 1 of 29
04/18/2003 10:56A
CONDO 581.60

4/18/03
TRANSFER NOT NECESSARY
John A. Donofrio, Fiscal Officer



54858107
Pg: 2 of 29
04/18/2003 10:56A
CONDO 581.60

**AMENDMENT NO. 2 TO THE
DECLARATION OF CONDOMINIUM OWNERSHIP
FOR CROSSINGS AT NORTHWEST**

This Amendment is made as of the date herein set forth by CROSSINGS AT NORTHWEST – SUMMIT COUNTY, LLC, an Ohio limited liability company (the “Grantor”).

RECITALS

1. Grantor is the developer of Crossings at Northwest (the “Project”) in the City of Tallmadge, Summit County, Ohio.
2. Pursuant to its development of the Project, Grantor created that certain Declaration of Condominium Ownership for Crossings at Northwest (the “Declaration”) encumbering the Condominium Property as that term is defined in the Declaration. The Declaration is recorded as Reception No. 54772422, of the Summit County, Ohio, Official Records. The Declaration specified 21 buildings containing 84 units in Phase 1.
3. Grantor previously filed Amendment No. 1 to Declaration to incorporate the Units located in Buildings 5, 6, 7, 8 and 9 which Amendment was recorded as Reception No. 54818319.
4. Grantor wishes to further amend the Declaration to incorporate the additional Units in Phase 1 constructed as of April 14, 2003.
5. Article XIX, Section 1(c), of the Declaration prescribes that the Declaration can be amended by Grantor to, among other things, permit the Declaration to comply with all laws, rules or regulations of any governmental authority. This amendment will submit to the Declaration the previously authorized units in Phase 1 which have been constructed as of April 14, 2003.

NOW, THEREFORE, the Grantor, for itself and as agent for the Unit Owners and their mortgagees, and for the purposes set forth hereinabove, hereby declares as follows:

- 1.0 **INCORPORATION OF RECITALS.** The recitals set forth above are incorporated herein by this reference.
- 2.0 **AMENDMENT TO DECLARATION.** The Declaration is hereby amended and supplemented in the following respects:
 - (a) **Drawings.** Exhibit B to the Declaration, referred therein as the “Drawings,” which Drawings show the location together with particulars of the Buildings and the lay-out, location, casements, designations, dimensions, area and number of rooms in the Units and the Common Areas and Facilities, is amended and supplemented by including therein those additional Drawings related to the

Buildings added by this Amended Declaration, and filed as Exhibit B hereto and incorporated herein by this reference. The additional Buildings involved are Nos. 10, 11 and 12.

3.0 **OTHER PROVISIONS REMAIN IN FULL FORCE AND EFFECT.** Except as hereinabove amended and supplemented, all of the provisions of the Declaration as amended shall be and remain in full force and effect.

IN WITNESS WHEREOF the undersigned Grantor has caused this Amendment No. 2 to be executed this 17 day of April, 2003.

GRANTOR:

CROSSINGS AT NORTHWEST --
SUMMIT COUNTY, LLC

By: Karl S. Balla
Karl S. Balla, Co-Managing Member

By: Howard F. Bohrer
Howard F. Bohrer, Co-Managing Member

STATE OF OHIO)
) SS.
COUNTY OF SUMMIT)



54858107
Pg: 3 of 29
04/18/2003 10:56A
CONDO 581.60

Before me, a Notary Public in and for said County and State, appeared the above-named KARL S. BALLA and HOWARD F. BOHRER, Co-Managing Members, of CROSSINGS AT NORTHWEST – SUMMIT COUNTY, LLC, who being duly authorized acknowledged that they did sign the foregoing and that the same is their free act and deed, both individually and as such officers.

IN WITNESS WHEREOF, I have set my hand and seal at Tallmadge, Ohio, this 17 day of April, 2003.

Brian C. Kiggins
Notary Public

This instrument prepared by:
Attorney Grant M. Yoakum (#0063285)
Buckingham, Doolittle & Burroughs, LLP
1375 E. 9th Street – Suite 1700
Cleveland, Ohio 44114
(216) 621-5300

BRIAN C. KIGGINS
Notary Public, State of Ohio, Cuy. Cty.
My Commission Expires Jan. 16, 2006

«CL2:176362_1»

CROSSINGS AT NORTHWEST

-- AMENDMENT NO. 2

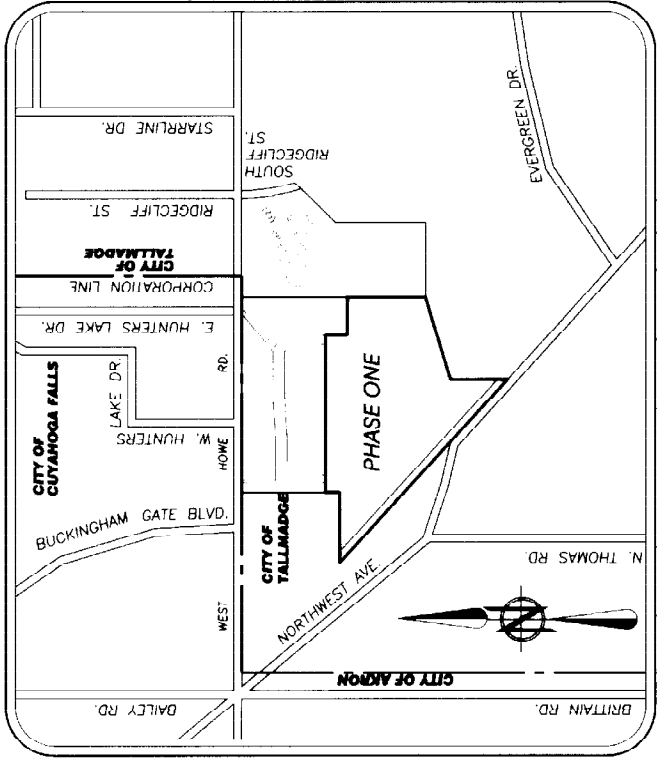
CONDOMINIUM DEVELOPMENT
 PHASE ONE
 AND BEING PART OF ORIGINAL TALLMADGE TOWNSHIP LOT NO. 1 & 2, TRACT NO. 6
 CITY OF TALLMADGE COUNTY OF SUMMIT STATE OF OHIO
 DATE: APRIL 14, 2003

Plat Approved by
GIS
TAM [Signature]

INDEX

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6	FIRST FLOOR PLAN (BUILDING 10&12)
7	SECOND FLOOR PLAN (BUILDING 10&12)
8	FIRST FLOOR PLAN (BUILDING 10&12)
9	SECOND FLOOR PLAN (BUILDING 10&12)
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18	FLOOR PLAN (BUILDING 11)
19	FLOOR PLAN (BUILDING 11)
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26	WALL SECTIONS (BUILDING 11)

AMENDMENT NO. 2
 AMENDMENT TO THE SECOND FILING
 UNITS CONSTRUCTED AS OF APRIL 14, 2003.
 BUILDING 10 - UNITS 550,552,554,556
 BUILDING 11 - UNITS 414,416,555,557
 BUILDING 12 - UNITS 420,422,424,426



LOCATION MAP
 NTS

TRANSFERRED IN COMPLIANCE WITH
 SEC. 319.02 PER CODE
John M. McGaw
 REGISTERED PROFESSIONAL ARCHITECT
 No. of pages: 26
 TRANSFERRED
 CS APR 18 AM 10:30

CERTIFICATE OF SURVEYOR

I HEREBY CERTIFY THAT PAGES 1 THROUGH 3 OF THESE DRAWINGS ACCURATELY SHOW THE BUILDING AS CONSTRUCTED, IN SO FAR AS POSSIBLE.
Michael C. Bramhall
 MICHAEL C. BRAMHALL
 REGISTERED SURVEYOR NO. 4073
 DATE: 4/10/03



CERTIFICATE OF ARCHITECT

I HEREBY CERTIFY THAT PAGES 4 THROUGH 26 OF THESE DRAWINGS ACCURATELY SHOW THE BUILDING AS CONSTRUCTED, IN SO FAR AS POSSIBLE.
Robert M. McGaw
 ROBERT M. MCGAW
 DATE: 4/16/03

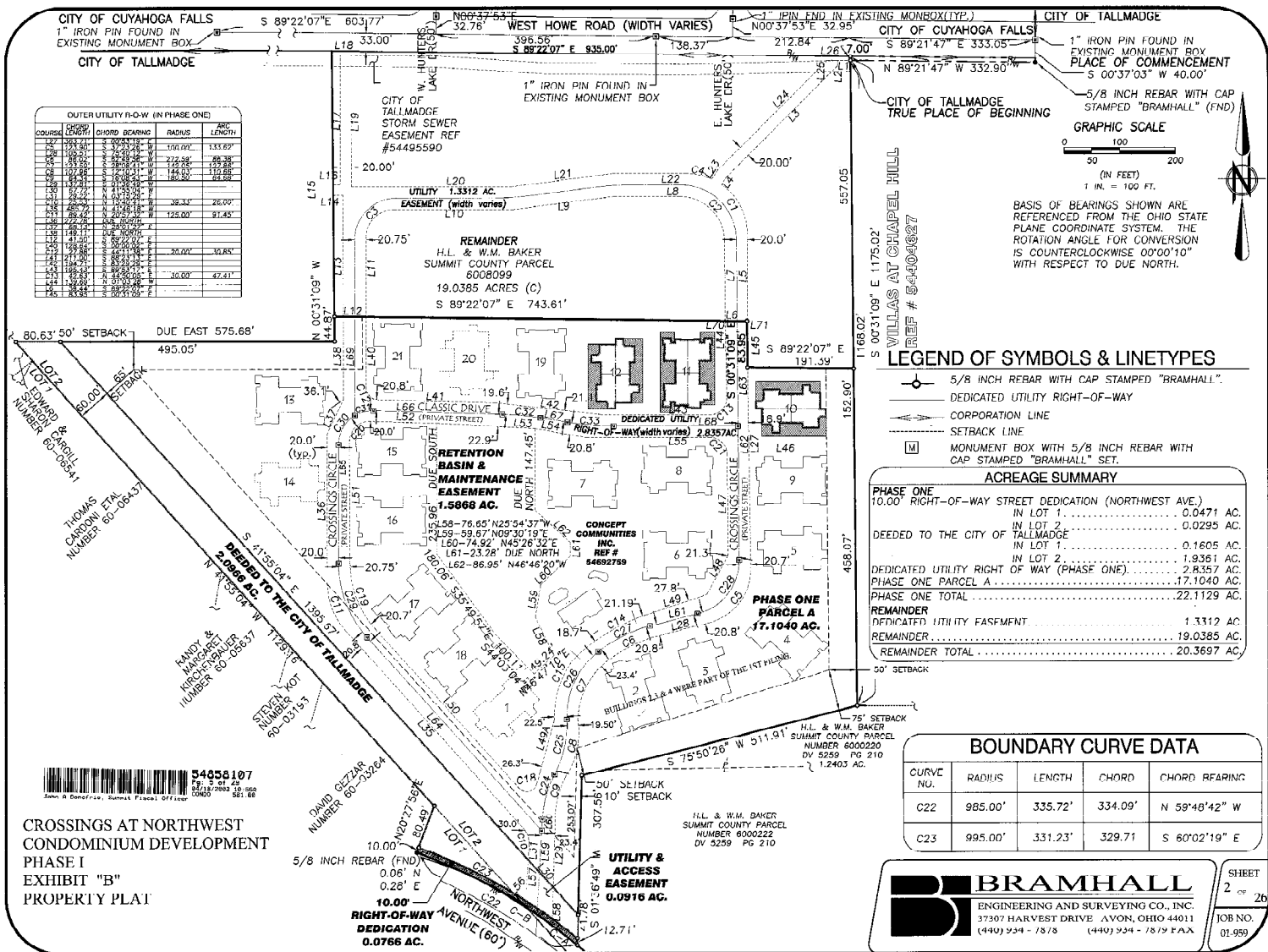
CROSSINGS AT NORTHWEST
 CONDOMINIUM DEVELOPMENT
 PHASE I
 EXHIBIT "B"
 TITLE SHEET

BRAMHALL
 ENGINEERING AND SURVEYING CO., INC.
 3707 HARVEST DRIVE AVON, OHIO 44011
 (440) 934-7878 (440) 934-7879 FAX

SHEET 1 of 26
 JOB NO. 01-959

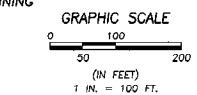
CROSSINGS AT NORTHWEST
 CONDOMINIUM DEVELOPMENT
 PHASE ONE
 AND BEING PART OF ORIGINAL TALLMADGE TOWNSHIP LOT NO. 1 & 2,
 TRACT NO. 6
 CITY OF TALLMADGE COUNTY OF SUMMIT STATE OF OHIO

DATE	DESCRIPTION
04/14/03	INITIAL SUBMITTAL



OUTER UTILITY R-O-W (IN PHASE ONE)

COURSE	LENGTH	CHORD BEARING	RADIUS	ARC LENGTH
L1	100.00	S 89°22'07" E	100.00	1.5312
L2	100.00	S 89°22'07" E	100.00	1.5312
L3	100.00	S 89°22'07" E	100.00	1.5312
L4	100.00	S 89°22'07" E	100.00	1.5312
L5	100.00	S 89°22'07" E	100.00	1.5312
L6	100.00	S 89°22'07" E	100.00	1.5312
L7	100.00	S 89°22'07" E	100.00	1.5312
L8	100.00	S 89°22'07" E	100.00	1.5312
L9	100.00	S 89°22'07" E	100.00	1.5312
L10	100.00	S 89°22'07" E	100.00	1.5312
L11	100.00	S 89°22'07" E	100.00	1.5312
L12	100.00	S 89°22'07" E	100.00	1.5312
L13	100.00	S 89°22'07" E	100.00	1.5312
L14	100.00	S 89°22'07" E	100.00	1.5312
L15	100.00	S 89°22'07" E	100.00	1.5312
L16	100.00	S 89°22'07" E	100.00	1.5312
L17	100.00	S 89°22'07" E	100.00	1.5312
L18	100.00	S 89°22'07" E	100.00	1.5312
L19	100.00	S 89°22'07" E	100.00	1.5312
L20	100.00	S 89°22'07" E	100.00	1.5312
L21	100.00	S 89°22'07" E	100.00	1.5312
L22	100.00	S 89°22'07" E	100.00	1.5312
L23	100.00	S 89°22'07" E	100.00	1.5312
L24	100.00	S 89°22'07" E	100.00	1.5312
L25	100.00	S 89°22'07" E	100.00	1.5312
L26	100.00	S 89°22'07" E	100.00	1.5312
L27	100.00	S 89°22'07" E	100.00	1.5312
L28	100.00	S 89°22'07" E	100.00	1.5312
L29	100.00	S 89°22'07" E	100.00	1.5312
L30	100.00	S 89°22'07" E	100.00	1.5312
L31	100.00	S 89°22'07" E	100.00	1.5312
L32	100.00	S 89°22'07" E	100.00	1.5312
L33	100.00	S 89°22'07" E	100.00	1.5312
L34	100.00	S 89°22'07" E	100.00	1.5312
L35	100.00	S 89°22'07" E	100.00	1.5312
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L37	100.00	S 89°22'07" E	100.00	1.5312
L38	100.00	S 89°22'07" E	100.00	1.5312
L39	100.00	S 89°22'07" E	100.00	1.5312
L40	100.00	S 89°22'07" E	100.00	1.5312
L41	100.00	S 89°22'07" E	100.00	1.5312
L42	100.00	S 89°22'07" E	100.00	1.5312
L43	100.00	S 89°22'07" E	100.00	1.5312
L44	100.00	S 89°22'07" E	100.00	1.5312
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L46	100.00	S 89°22'07" E	100.00	1.5312
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L49	100.00	S 89°22'07" E	100.00	1.5312
L50	100.00	S 89°22'07" E	100.00	1.5312
L51	100.00	S 89°22'07" E	100.00	1.5312
L52	100.00	S 89°22'07" E	100.00	1.5312
L53	100.00	S 89°22'07" E	100.00	1.5312
L54	100.00	S 89°22'07" E	100.00	1.5312
L55	100.00	S 89°22'07" E	100.00	1.5312
L56	100.00	S 89°22'07" E	100.00	1.5312
L57	100.00	S 89°22'07" E	100.00	1.5312
L58	100.00	S 89°22'07" E	100.00	1.5312
L59	100.00	S 89°22'07" E	100.00	1.5312
L60	100.00	S 89°22'07" E	100.00	1.5312
L61	100.00	S 89°22'07" E	100.00	1.5312
L62	100.00	S 89°22'07" E	100.00	1.5312
L63	100.00	S 89°22'07" E	100.00	1.5312
L64	100.00	S 89°22'07" E	100.00	1.5312
L65	100.00	S 89°22'07" E	100.00	1.5312
L66	100.00	S 89°22'07" E	100.00	1.5312
L67	100.00	S 89°22'07" E	100.00	1.5312
L68	100.00	S 89°22'07" E	100.00	1.5312
L69	100.00	S 89°22'07" E	100.00	1.5312
L70	100.00	S 89°22'07" E	100.00	1.5312
L71	100.00	S 89°22'07" E	100.00	1.5312
L72	100.00	S 89°22'07" E	100.00	1.5312
L73	100.00	S 89°22'07" E	100.00	1.5312
L74	100.00	S 89°22'07" E	100.00	1.5312
L75	100.00	S 89°22'07" E	100.00	1.5312
L76	100.00	S 89°22'07" E	100.00	1.5312
L77	100.00	S 89°22'07" E	100.00	1.5312
L78	100.00	S 89°22'07" E	100.00	1.5312
L79	100.00	S 89°22'07" E	100.00	1.5312
L80	100.00	S 89°22'07" E	100.00	1.5312
L81	100.00	S 89°22'07" E	100.00	1.5312
L82	100.00	S 89°22'07" E	100.00	1.5312
L83	100.00	S 89°22'07" E	100.00	1.5312
L84	100.00	S 89°22'07" E	100.00	1.5312
L85	100.00	S 89°22'07" E	100.00	1.5312
L86	100.00	S 89°22'07" E	100.00	1.5312
L87	100.00	S 89°22'07" E	100.00	1.5312
L88	100.00	S 89°22'07" E	100.00	1.5312
L89	100.00	S 89°22'07" E	100.00	1.5312
L90	100.00	S 89°22'07" E	100.00	1.5312
L91	100.00	S 89°22'07" E	100.00	1.5312
L92	100.00	S 89°22'07" E	100.00	1.5312
L93	100.00	S 89°22'07" E	100.00	1.5312
L94	100.00	S 89°22'07" E	100.00	1.5312
L95	100.00	S 89°22'07" E	100.00	1.5312
L96	100.00	S 89°22'07" E	100.00	1.5312
L97	100.00	S 89°22'07" E	100.00	1.5312
L98	100.00	S 89°22'07" E	100.00	1.5312
L99	100.00	S 89°22'07" E	100.00	1.5312
L100	100.00	S 89°22'07" E	100.00	1.5312



BASIS OF BEARINGS SHOWN ARE REFERENCED FROM THE OHIO STATE PLANE COORDINATE SYSTEM. THE ROTATION ANGLE FOR CONVERSION IS COUNTERCLOCKWISE 00°00'10" WITH RESPECT TO DUE NORTH.

LEGEND OF SYMBOLS & LINETYPES

- 5/8 INCH REBAR WITH CAP STAMPED "BRAMHALL".
- DEDICATED UTILITY RIGHT-OF-WAY
- CORPORATION LINE
- SETBACK LINE
- MONUMENT BOX WITH 5/8 INCH REBAR WITH CAP STAMPED "BRAMHALL" SET.

ACREAGE SUMMARY

PHASE ONE	
10.00' RIGHT-OF-WAY STREET DEDICATION (NORTHWEST AVE.)	IN LOT 1..... 0.0471 AC.
	IN LOT 2..... 0.0295 AC.
DEEDED TO THE CITY OF TALLMADGE	IN LOT 1..... 0.1605 AC.
	IN LOT 2..... 1.9361 AC.
DEDICATED UTILITY RIGHT OF WAY (PHASE ONE) 2.8357 AC.
PHASE ONE PARCEL A 17.1040 AC.
PHASE ONE TOTAL 22.1129 AC.
REMAINDER 1.3312 AC.
DEDICATED UTILITY EASEMENT 19.0385 AC.
REMAINDER 20.3697 AC.
REMAINDER TOTAL

BOUNDARY CURVE DATA

CURVE NO.	RADIUS	LENGTH	CHORD	CHORD BEARING
C22	985.00'	335.72'	334.09'	N 59°48'42" W
C23	995.00'	331.23'	329.71'	S 60°02'19" E

BRAMHALL
 ENGINEERING AND SURVEYING CO., INC.
 37307 HARVEST DRIVE AVON, OHIO 44011
 (440) 934 - 7878 (440) 934 - 7879 FAX

SHEET
 2 of 2b
 JOB NO.
 01-950



CROSSINGS AT NORTHWEST CONDOMINIUM DEVELOPMENT PHASE I EXHIBIT "B" PROPERTY PLAT

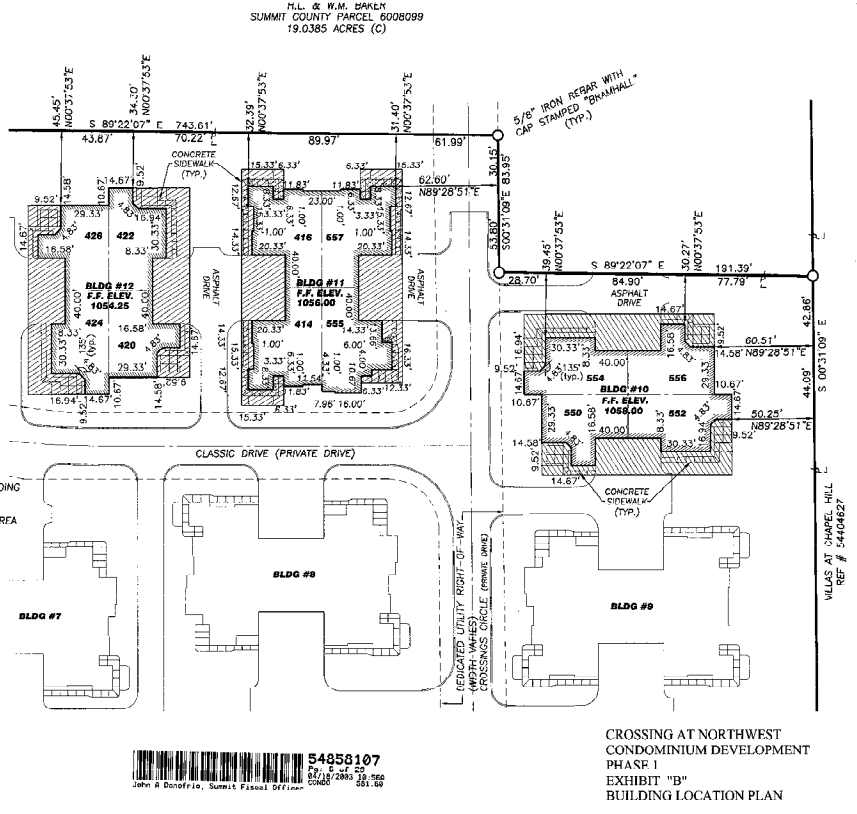
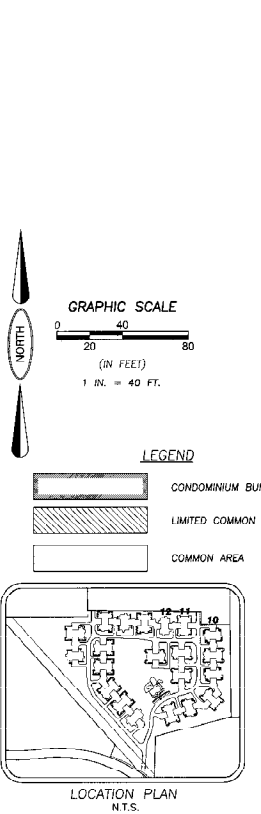
01959ENG.W01.DAKARY.DED.DED.RC.FILING.PHASE ONE SHEET 348vg.PLAT

UTILITY & ACCESS EASEMENT			
COURSE	CHORD LENGTH	CHORD BEARING	ARC LENGTH
C-A	49.91'	N 51°42'57" W	985.00'
C-B	78.25'	N 50°36'58" W	985.00'
C-1	27.80'	N 40°55'08" E	78.25'
C-2	53.91'	N 03°15'29" E	78.25'
C-3	67.72'	S 41°05'03" E	78.25'
C-4	88.56'	S 01°38'29" W	985.00'
C-5	134.09'	N 59°48'42" W	335.72'
C-6	128.71'	N 60°02'19" W	337.23'

INNER UTILITY ROW (IN PHASE ONE)			
COURSE	CHORD LENGTH	CHORD BEARING	ARC LENGTH
L46	229.60'	S 89°28'51" W	
L47	183.26'	S 00°26'33" E	
L48	79.72'	S 48°30'29" W	
L49	114.83'	S 21°18'36" W	
C14	104.67'	S 58°17'19" W	330.49'
C15	114.91'	S 72°23'42" W	172.10'
L50A	119.90'	S 10°21'42" W	
C16	33.46'	S 20°02'40" W	19.01'
L50	304.07'	N 41°56'31" W	
C19	128.84'	N 20°58'15" W	180.00'
L51	221.31'	N 00°11'59" W	
C20	50.20'	N 45°49'27" E	35.00'
L52	177.55'	S 88°55'18" E	
L53	211.17'	S 88°15'08" E	
L54	94.71'	S 80°26'52" E	
L55	241.68'	DUE EAST	
C21	43.87'	S 49°13'18" E	31.00'

UTILITY R-O-W (IN REMAINDER)			
COURSE	CHORD LENGTH	CHORD BEARING	ARC LENGTH
L1	23.22'	N 89°22'07" W	
L2	101.09'	DUE WEST	
L3	286.07'	S 34°00'00" W	
L4	102.07'	S 71°45'00" W	110.00'
L5	186.54'	S 00°14'54" W	306.12'
L6	18.43'	S 89°22'07" W	
L7	126.38'	N 04°24'32" W	
L8	115.09'	DUE WEST	80.00'
L9	181.93'	S 82°34'25" W	
L10	114.93'	S 89°22'07" W	
C3	70.71'	S 24°28'38" W	50.00'
L11	14.51'	N 89°22'07" W	78.54'
L12	41.50'	N 89°22'07" W	
L13	215.00'	DUE NORTH	
L14	17.81'	DUE WEST	
L15	40.00'	N 00°11'59" W	
L16	134.00'	S 89°22'07" W	
L17	233.77'	DUE NORTH	
L18	20.00'	S 89°22'07" W	
L19	207.50'	DUE SOUTH	
L20	280.30'	S 89°22'07" W	
L21	183.81'	N 89°22'07" E	
L22	148.24'	S 89°22'07" W	110.00'
L23	18.20'	N 34°25'00" E	
L24	236.38'	N 00°00'00" E	
L25	2.03'	DUE NORTH	
L26	20.00'	S 89°22'07" E	

CENTERLINE			
COURSE	CHORD LENGTH	CHORD BEARING	ARC LENGTH
L59	190.42'	N 03°15'29" E	
L60	430.92'	N 03°15'29" E	
C24	83.29'	N 15°19'13" E	200.00'
C25	101.85'	N 12°39'59" E	200.00'
C26	106.22'	N 24°33'28" E	150.00'
C27	106.29'	N 03°32'43" E	200.00'
L61	88.83'	N 79°40'19" E	
C28	123.29'	N 37°38'00" E	100.00'
L62	242.07'	N 00°26'33" W	
C29	143.00'	N 20°58'15" W	200.00'
L64	470.54'	N 41°56'31" W	
C30	60.21'	N 29°21'36" E	61.50'
C31	54.00'	N 57°11'04" E	61.50'
L66	232.28'	S 88°11'08" E	
C32	88.92'	S 84°23'59" E	500.00'
L67	40.30'	S 89°22'07" E	
C33	83.42'	S 84°12'58" E	500.00'
L68	224.29'	DUE EAST	
L69	178.45'	N 00°00'00" W	
L70	21.50'	S 89°22'07" E	
L71	17.93'	S 89°22'07" E	



54858107
 08/18/2003 10:56:00
 Job # 54404627

CROSSINGS AT NORTHWEST
 CONDOMINIUM DEVELOPMENT
 PHASE I
 AND BEING PART OF ORIGINAL TALLMADGE TOWNSHIP LOT NO. 1 & 2, TRACT NO. 6
 CITY OF TALLMADGE COUNTY OF SUMMIT STATE OF OHIO

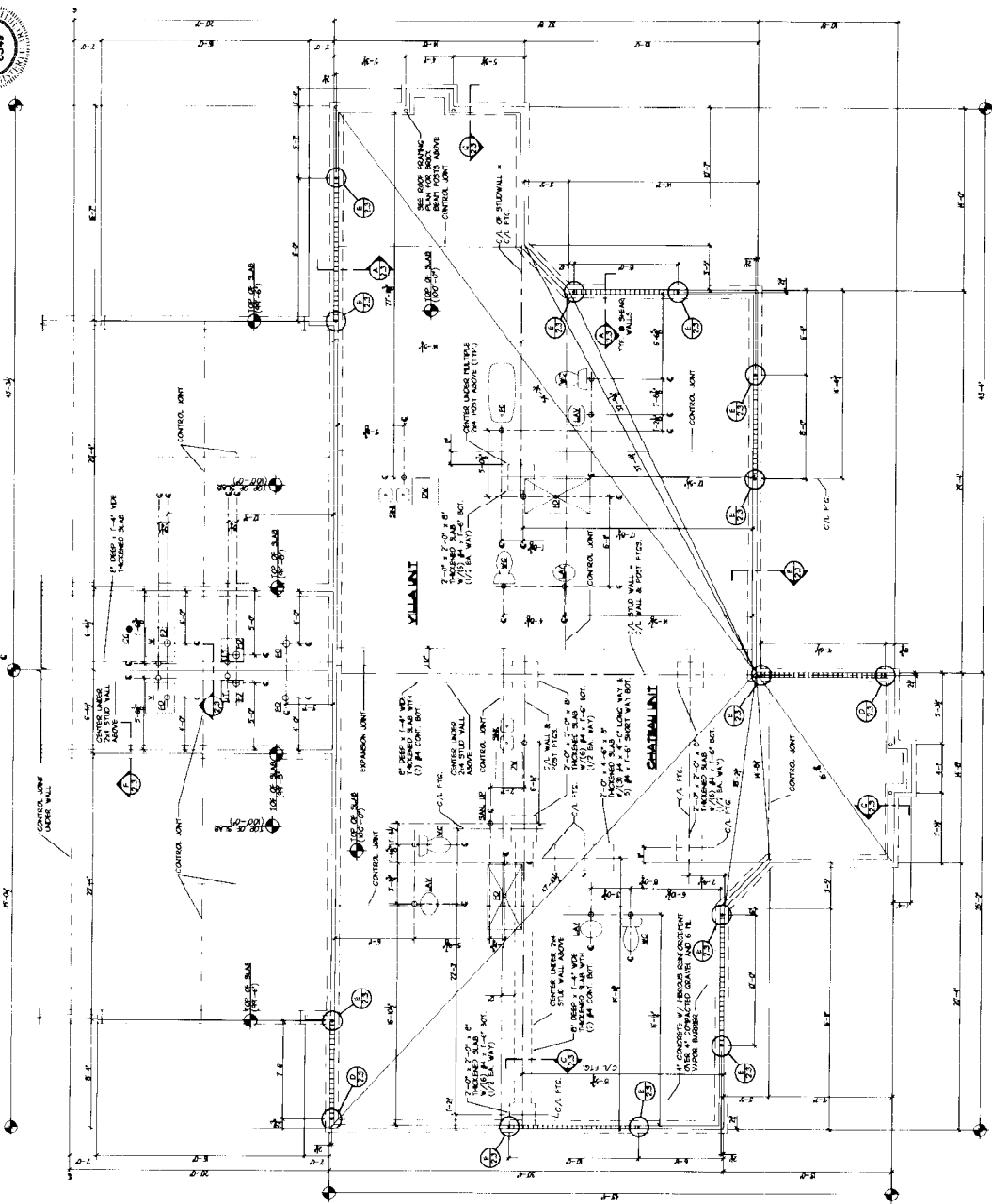
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 (440) 934-7878 (440) 934-7879 FAX

SHEET
 3 of 26
 JOB NO.
 01-050

019990 BOUNDARY/D.D. 300 BLDG PHASE ONE SHEET 10a (SHEET 7)



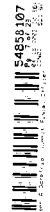
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DATE EXPLODED DATE EXPLODED: 11-20-01 DRAWING NUMBER: 11-20-01	DATE EXPLODED DATE EXPLODED: _____ DRAWING NUMBER: _____
REVISIONS NO. DATE DESCRIPTION 1. 11-20-01 INITIAL ISSUE 2. 11-20-01 REVISIONS	REVISIONS NO. DATE DESCRIPTION 1. 11-20-01 INITIAL ISSUE 2. 11-20-01 REVISIONS



SHEET 4 OF 7
 FOUNDATION PLAN
 CHATEAU/VILLA

ASBDO INDICATES THE LOCATION OF TYPICAL PIERA HOLE DOWN
 EACH END OF BEAR WALL V.3.4, P.12. ASB. #7.3. HOOK
 INDICATES LOCATION OF BEAR WALL (ALSO REFER TO FLOOR PLAN)

CHATEAU - VILLA FOUNDATION PLAN
 SCALE 1/4"=1'-0"

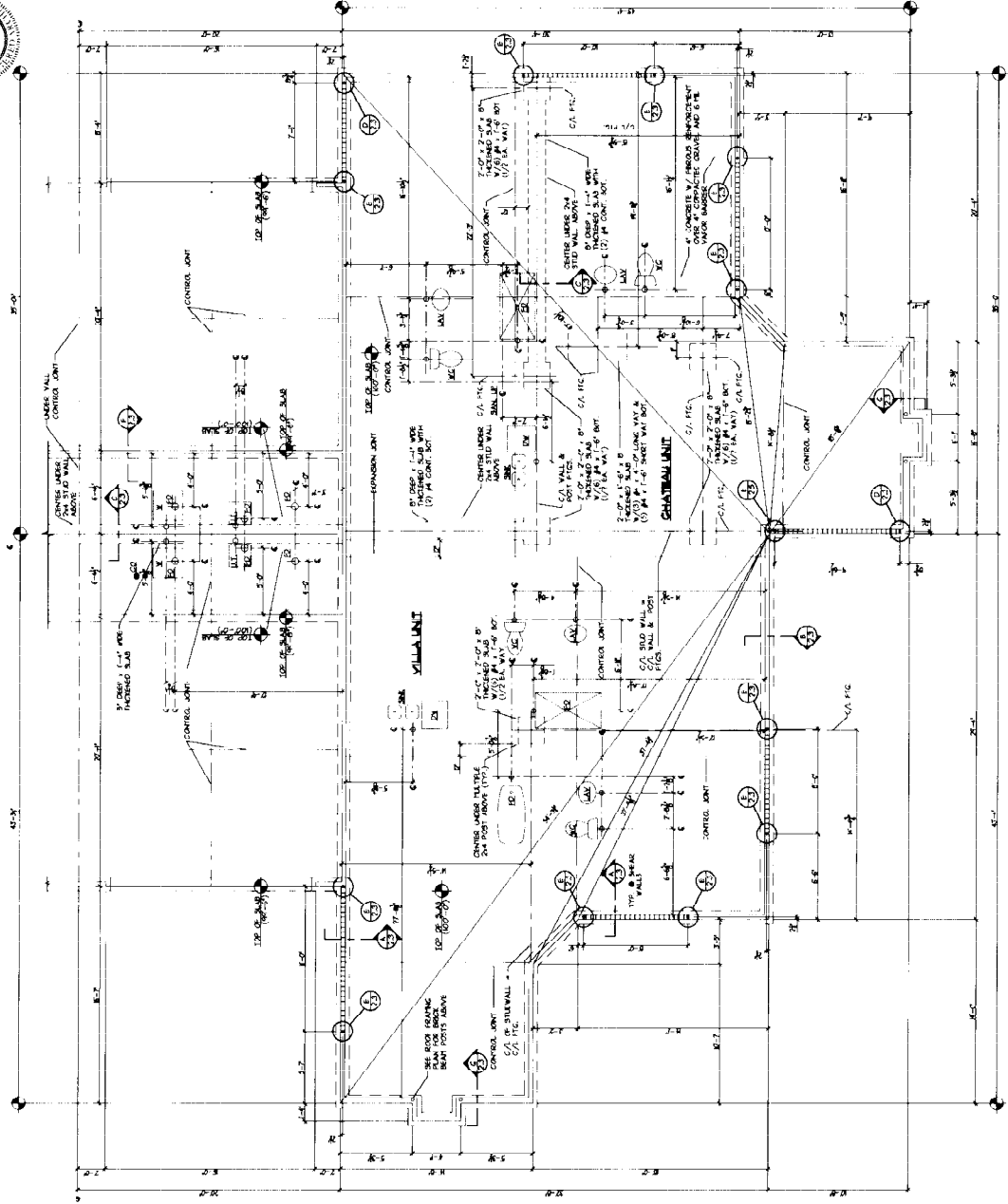


NOTES
 1. BLAGS 10 & 12 ARE A3
 DRAWN

THE CROSSINGS AT NORTHWEST
 CORNER ARE DEVELOPMENT
 PHASE I
 ENRICO STYLE
 FOUNDATION & FLOOR PLANS



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DATE _____ PROJECT _____ CLIENT _____ PROJECT LOCATION _____	DATE _____ PROJECT _____ CLIENT _____ PROJECT LOCATION _____



SHEET 8 OF 9

LEGEND
 ■ SEE LOCATION OF SHEAR WALL FROM FLOOR PLAN
 ■ SEE LOCATION OF SHEAR WALL FROM FLOOR PLAN
 ■ INDICATES LOCATION OF SHEAR WALL (ALSO REFER TO FLOOR PLAN)

VILLA - CHATEAU FOUNDATION PLAN
 SCALE: 1/8" = 1'-0"

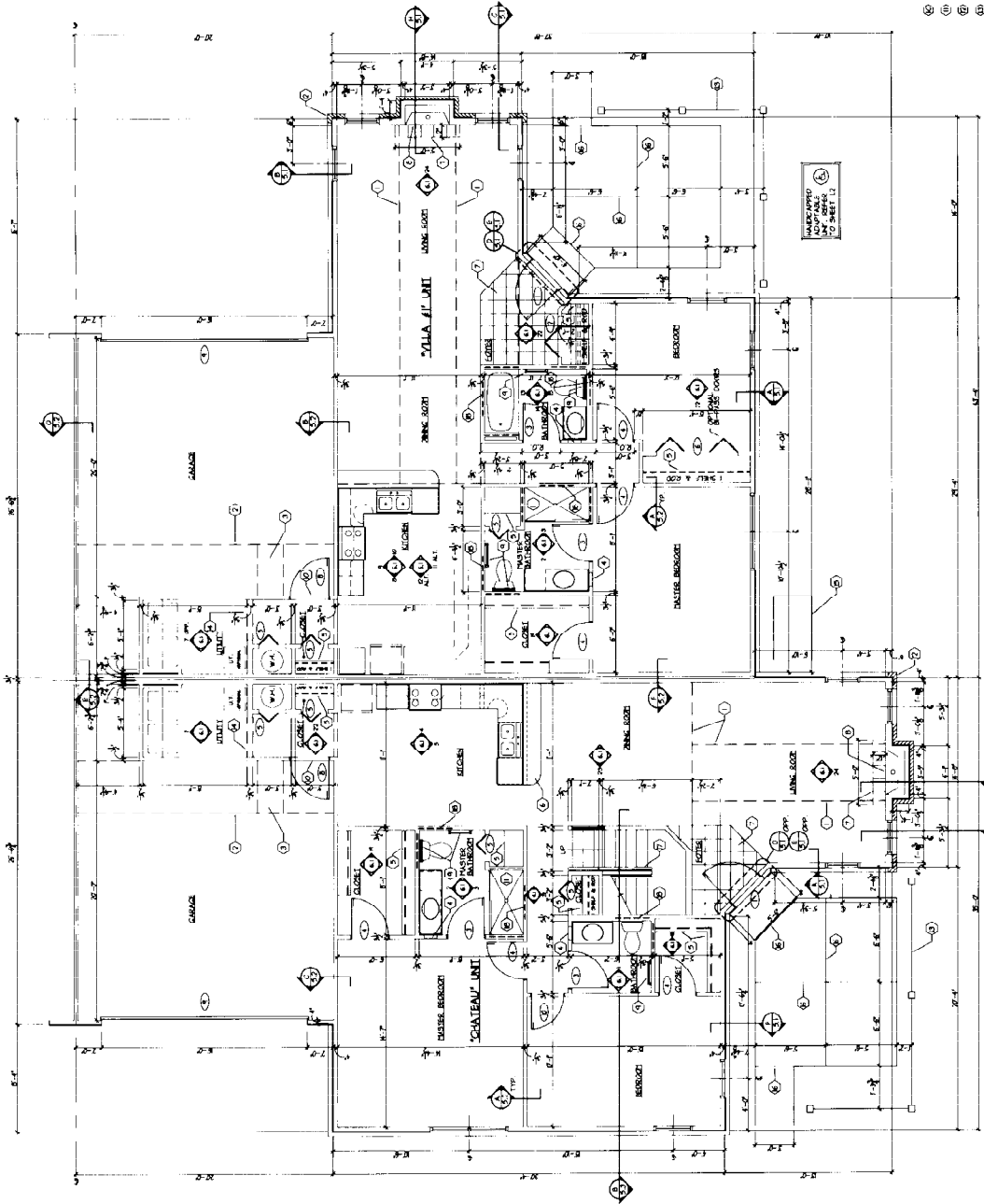


NOTES:
 1. ALL BLOCKS 10 & 12 ARE AS DRAWN.
 2. THE DIMENSIONS AT NORTHWEST CORNER UNIT DEVELOPMENT EXHIBIT 'B' CLASSIC STYLE FOUNDATION & FLOOR PLANS.

Sheet Number: C-11 2.2



PROJECT NUMBER: 100-100-100-100 PROJECT NAME: VILLA FIRST FLOOR PLAN	
DATE: 11-20-11 DRAWING NUMBER: 100-100-100-100-100 DATE: 11-20-11	DATE: 11-20-11 DRAWING NUMBER: 100-100-100-100-100 DATE: 11-20-11
<input type="checkbox"/> ARCHITECT <input type="checkbox"/> ENGINEER <input type="checkbox"/> CONTRACTOR <input type="checkbox"/> OWNER	<input type="checkbox"/> ARCHITECT <input type="checkbox"/> ENGINEER <input type="checkbox"/> CONTRACTOR <input type="checkbox"/> OWNER
PROJECT: VILLA FIRST FLOOR PLAN DATE: 11-20-11	PROJECT: VILLA FIRST FLOOR PLAN DATE: 11-20-11



- FLOOR PLAN COPIED NOTES**
1. EDGE OF VALUED CEILING
 2. 1" WIDE (1/2" DEEP) DOWEL OR TOP OF
 3. 2" (1/2" DIA) COLLOW STAIR
 4. 2" (1/2" DIA) COLLOW STAIR
 5. EXCESSIVE PERSON CARRIER
 6. VIBR. SILENT SYSTEM
 7. 5" WIDE CORNER @ 47" HGT.
 8. 2" (1/2" DIA) CERAMIC TILE
 9. 1/2" (1/2" DIA) CERAMIC TILE
 10. 1/2" (1/2" DIA) CERAMIC TILE
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CHATEAU - VILLA FIRST FLOOR PLAN



NOTES:
 1. BLDGS. 10 & 12 ARE AS DRAWN
 THE CROSSINGS AT NORTHEAST CONDOMINIUM DEVELOPMENT EXHIBIT "B" CLASSIC STYLE FOUNDATION & FLOOR PLANS

SHEET	6	OF	76
DATE	11-20-11		

REVISIONS

No.	Description	Date

PROJECTIONS

No.	Description	Date

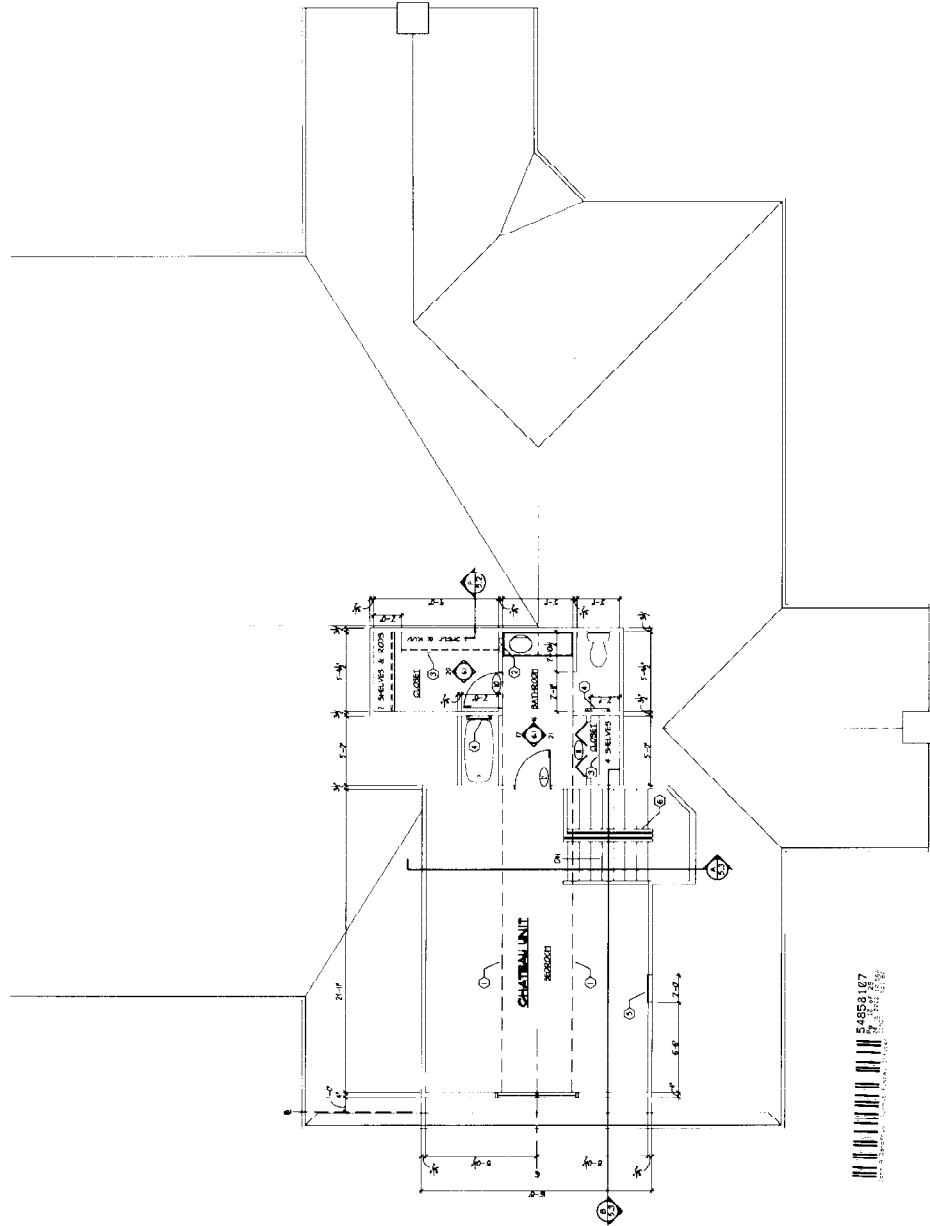
DATE 11-10-01

PROJECT NUMBER PH-1

SCALE 3/16" = 1'-0"

DATE 11-10-01

PROJECT NUMBER PH-1



NOTES:
BUDGET: 0 & 12 ARE AS
DRAWN

THE CROSSINGS AT NORTHWEST
CONDOMINIUM DEVELOPMENT
PHASE 1
TRADITIONAL STYLE
FOUNDATION & FLOOR PLANS

CHATTAI - VILLA SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

- FLOOR PLAN CODED NOTES**
1. ROOF OF VAULTED DRINK
 2. RECESSED PICTURE CUPNET
 3. WINE SHELF 31Y15H1
 4. TOWER BAR
 5. ACCESS PANEL: 22 1/2" X 20" R.O.
 6. MASONRY PROTECT WALL 1/2" X 3/4"



SHEET 7 OF 7

REGULATORY PLAN
COMPLIANCE PLAN
PROJECT NUMBER
CU-III 3.1.5

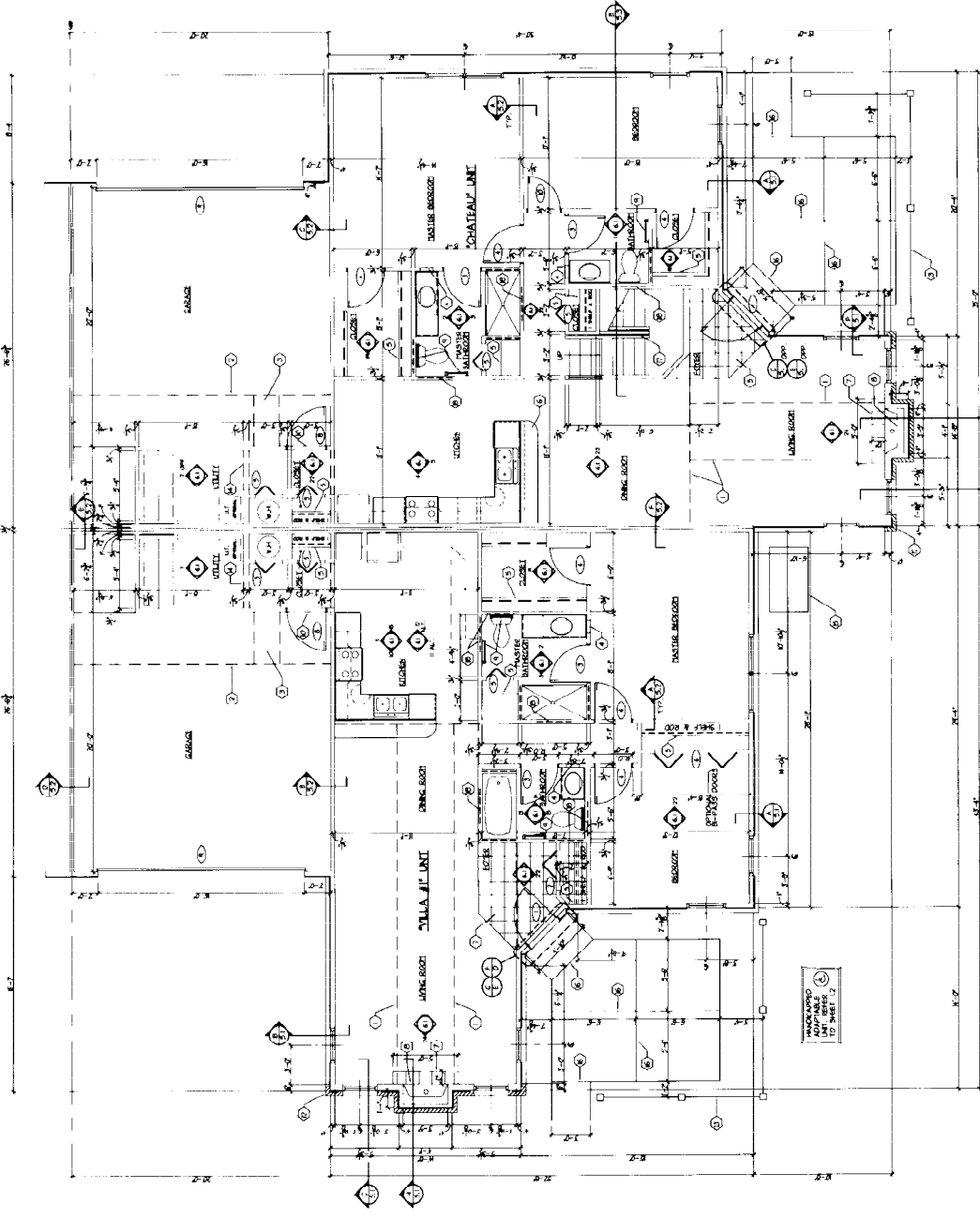


PROJECT NUMBER: P11 PROJECT NAME: VILLA - CHATEAU DATE: 11-20-11	
SITE EMPLOYER: Date: 11-20-11	PROJECT TYPE: RESIDENTIAL Date: 11-20-11
PROJECT NUMBER: P11 PROJECT NAME: VILLA - CHATEAU DATE: 11-20-11	PROJECT TYPE: RESIDENTIAL DATE: 11-20-11

SHEET 3 OF 10

CL 111 3.2

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- FLOOR PLAN CODED NOTES**
1. NOT OF VALUED BEING
 2. 27" x 60" SINK
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VILLA - CHATEAU FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



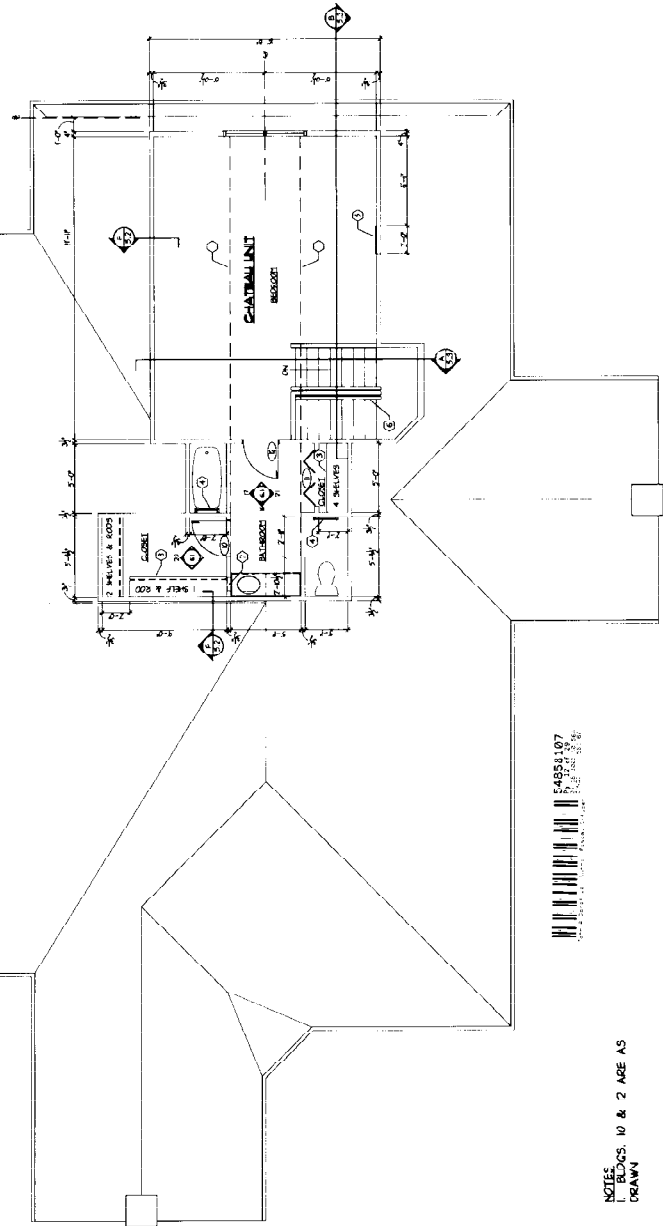
NOTES:
 1. BLOCKS 10 & 12 ARE AS DRAWN

THE CROSSINGS AT NORTHWEST
 CONDORINIUM DEVELOPMENT
 EXHIBIT "B"
 CLASSIC STYLE
 FOUNDATION & FLOOR PLANS

DATE REVISIONS Date originated: 11-20-10 Drawing issued: 11-20-10 Date: 11-20-10 Prepared by: [Signature] Checked by: [Signature] Revision: [Signature] Date: [Signature] A. [Signature] B. [Signature] C. [Signature] D. [Signature]		PHOTO/VIDEO/FURNITURE Date originated: [] Date: [] Revision: [] Date: [] A. [Signature] B. [Signature] C. [Signature] D. [Signature]		IMPORTANT RIGHTS NOTICE THIS SET OF ARCHITECTURAL DRAWINGS IS THE PROPERTY OF ROBERT MCGAY SURVIVAL SYSTEMS, INC. (RMS) AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO PART OF THIS SET OF ARCHITECTURAL DRAWINGS IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RMS. THE USER OF THESE ARCHITECTURAL DRAWINGS SHALL BE DEEMED TO HAVE ACCEPTED THESE TERMS AND CONDITIONS.	Sheet Title: SECOND FLOOR PLAN Sheet Number: CLH 3.2.5
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SHEET 1 OF 10



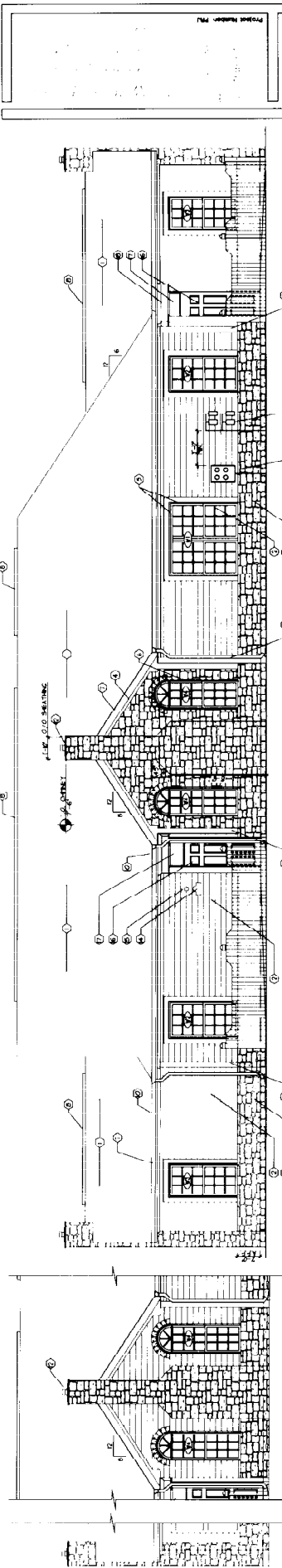
VILLA CHATEAU SECOND FLOOR PLAN CODED NOTES
 SCALE: 1/4"=1'-0"

- ① EDGE OF WALL TO GRAB
- ② LOCATED MOORE JANET
- ③ USE 1/4" DIA. STUDT
- ④ USE 1/4" DIA.
- ⑤ ACCESS PANEL: 20" (2" x 3/8" R.2)
- ⑥ MOORE: CENTER OF R/W: 0/1.3



NOTES:
 1. BLOCKS 10 & 2 ARE AS DRAWN

THE CROSSINGS AT NORTHWEST CONDOMINIUM DEVELOPMENT PHASE 1 BY CLASSIC STYLE FOUNDATION & FLOOR PLANS



CHATEAU-VILLA END ELEVATION
SCALE: 1/4\"/>

CHATEAU-VILLA END ELEVATION - ALT
SCALE: 1/4\"/>

VILLA - CHATEAU SIDE ELEVATION
SCALE: 1/4\"/>

NOTES
- BLDGS. 10 & 12 ARE AS DRAWN

THE CROSSINGS AT NORTHWEST CONCOMITTU DEVELOPMENT EXHIBIT 103 CLASSIC STYLE ELEVATION VIEWS

SCOPED NOTES

- ① ANNUAL / PREVIOUS SCHEDULES OVER BY FELT (COORDINATE COLOR SPEC WITH FINISH)
- ② CHAIRS WITH CURVE BACKS TO BE REFINED BY USABAMA (COORDINATE COLOR SPEC WITH FINISH)
- ③ 3 ONE UNITS
- ④ 5 1/4 X 4 CEDAR TOP SMOOTH FACE STAIR (OR ESBAL)
- ⑤ 5 1/4 X 6 CEDAR TOP SMOOTH FACE STAIR (OR ESBAL)
- ⑥ 5 ONE TIER
- ⑦ PRIMEWID ALUMINUM FINISH, PRECOATED SMOOTH
- ⑧ PRIMEWID ALUMINUM FINISH, PRECOATED SMOOTH
- ⑨ COORDINATE COLOR WITH (COORDINATE COLOR # / SINGLE SELECTION)
- ⑩ PRIMEWID CONDOUR AND CUTLER W / BRUSH-BLOCK
- ⑪ NOT USED
- ⑫ REFINISHED DOORS TO BE REFINED BY USABAMA (COORDINATE COLOR SPEC WITH FINISH)
- ⑬ 3 ONE UNITS
- ⑭ 5 1/4 X 4 CEDAR TOP SMOOTH FACE STAIR (OR ESBAL)
- ⑮ 5 1/4 X 6 CEDAR TOP SMOOTH FACE STAIR (OR ESBAL)
- ⑯ 5 ONE TIER
- ⑰ PRIMEWID ALUMINUM FINISH, PRECOATED SMOOTH
- ⑱ PRIMEWID ALUMINUM FINISH, PRECOATED SMOOTH
- ⑲ COORDINATE COLOR WITH (COORDINATE COLOR # / SINGLE SELECTION)
- ⑳ PRIMEWID CONDOUR AND CUTLER W / BRUSH-BLOCK
- ㉑ NOT USED

ENLARGED ELEVATION
SCALE: 1/2\"/>

ALTERNATE ELEVATION
SCALE: 1/2\"/>

WINDOW SCHEDULE: VILLA

TYPE	SIZE	REMARKS	QUANTITY
①	16\"/>		
②	16\"/>		
③	16\"/>		
④	16\"/>		
⑤	16\"/>		
⑥	16\"/>		
⑦	16\"/>		

WINDOW SCHEDULE: CHATEAU

TYPE	SIZE	REMARKS	QUANTITY
①	16\"/>		
②	16\"/>		
③	16\"/>		
④	16\"/>		
⑤	16\"/>		
⑥	16\"/>		
⑦	16\"/>		

SCOPED NOTES

- ① REFINISHED DOORS TO BE REFINED BY USABAMA (COORDINATE COLOR SPEC WITH FINISH)
- ② CHAIRS WITH CURVE BACKS TO BE REFINED BY USABAMA (COORDINATE COLOR SPEC WITH FINISH)
- ③ 3 ONE UNITS
- ④ 5 1/4 X 4 CEDAR TOP SMOOTH FACE STAIR (OR ESBAL)
- ⑤ 5 1/4 X 6 CEDAR TOP SMOOTH FACE STAIR (OR ESBAL)
- ⑥ 5 ONE TIER
- ⑦ PRIMEWID ALUMINUM FINISH, PRECOATED SMOOTH
- ⑧ PRIMEWID ALUMINUM FINISH, PRECOATED SMOOTH
- ⑨ COORDINATE COLOR WITH (COORDINATE COLOR # / SINGLE SELECTION)
- ⑩ PRIMEWID CONDOUR AND CUTLER W / BRUSH-BLOCK
- ⑪ NOT USED

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ROBERT MCCAW 3549

WINDOW SCHEDULE: VILLA

TYPE	SIZE	REMARKS	QUANTITY
①	16\"/>		
②	16\"/>		
③	16\"/>		
④	16\"/>		
⑤	16\"/>		
⑥	16\"/>		
⑦	16\"/>		

WINDOW SCHEDULE: CHATEAU

TYPE	SIZE	REMARKS	QUANTITY
①	16\"/>		
②	16\"/>		
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④	16\"/>		
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SCOPED NOTES

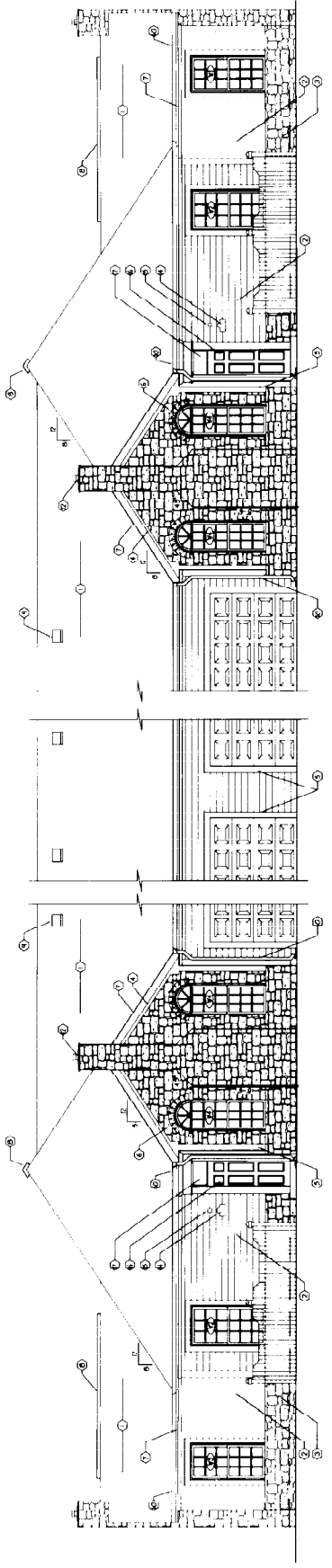
- ① REFINISHED DOORS TO BE REFINED BY USABAMA (COORDINATE COLOR SPEC WITH FINISH)
- ② CHAIRS WITH CURVE BACKS TO BE REFINED BY USABAMA (COORDINATE COLOR SPEC WITH FINISH)
- ③ 3 ONE UNITS
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- ⑤ 5 1/4 X 6 CEDAR TOP SMOOTH FACE STAIR (OR ESBAL)
- ⑥ 5 ONE TIER
- ⑦ PRIMEWID ALUMINUM FINISH, PRECOATED SMOOTH
- ⑧ PRIMEWID ALUMINUM FINISH, PRECOATED SMOOTH
- ⑨ COORDINATE COLOR WITH (COORDINATE COLOR # / SINGLE SELECTION)
- ⑩ PRIMEWID CONDOUR AND CUTLER W / BRUSH-BLOCK
- ⑪ NOT USED

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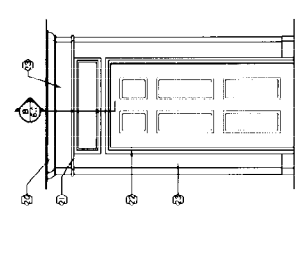
EXTERIOR ELEVATIONS
 SHEET NO. **4.2S**

DATE: 11-30-21
 DRAWING NO: 21-035
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 PROJECT ADDRESS: 1133 N. 10TH ST., PHOENIX, AZ 85016

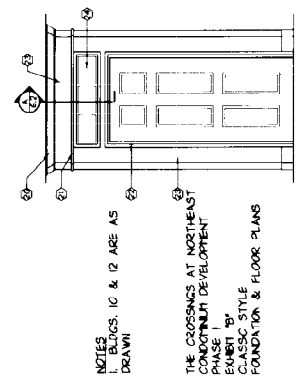
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 DATE: 11-30-21
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 2. DOOR SCHEDULE
 3. FLOOR PLAN
 4. ELEVATIONS
 5. SECTION
 6. FOUNDATION PLAN
 7. ROOF PLAN
 8. MECHANICAL PLAN
 9. ELECTRICAL PLAN
 10. PAINT SCHEDULE
 11. FINISH SCHEDULE
 12. OTHER SCHEDULES



VILLA - VILLA SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



ENLARGED ELEVATION
 SCALE: 1/4" = 1'-0"



ALTERNATE ELEVATION
 SCALE: 1/4" = 1'-0"

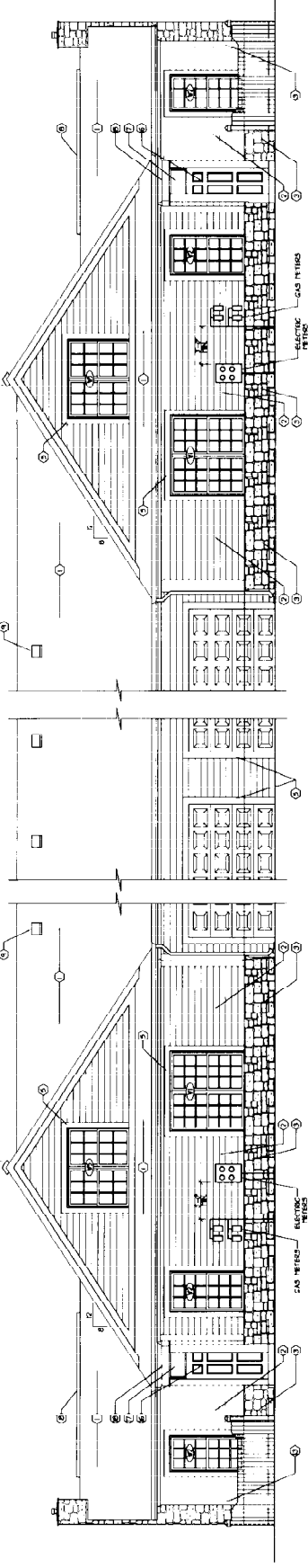
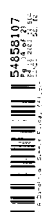
- SCOPED NOTE**
- 1. UNLESS SPECIFIED, ALL MATERIALS SHALL BE SUPPLIED BY THE MANUFACTURER.
 - 2. 2 1/2" x 4" x 8" OAK OR WOOD PANEL STAIN (OR GRAIN).
 - 3. 2 1/2" x 4" x 8" OAK OR WOOD PANEL STAIN (OR GRAIN).
 - 4. 2 1/2" x 4" x 8" OAK OR WOOD PANEL STAIN (OR GRAIN).
 - 5. 2 1/2" x 4" x 8" OAK OR WOOD PANEL STAIN (OR GRAIN).
 - 6. 2 1/2" x 4" x 8" OAK OR WOOD PANEL STAIN (OR GRAIN).
 - 7. 2 1/2" x 4" x 8" OAK OR WOOD PANEL STAIN (OR GRAIN).
 - 8. 2 1/2" x 4" x 8" OAK OR WOOD PANEL STAIN (OR GRAIN).
 - 9. 2 1/2" x 4" x 8" OAK OR WOOD PANEL STAIN (OR GRAIN).
 - 10. 2 1/2" x 4" x 8" OAK OR WOOD PANEL STAIN (OR GRAIN).
 - 11. 2 1/2" x 4" x 8" OAK OR WOOD PANEL STAIN (OR GRAIN).
 - 12. 2 1/2" x 4" x 8" OAK OR WOOD PANEL STAIN (OR GRAIN).
 - 13. 2 1/2" x 4" x 8" OAK OR WOOD PANEL STAIN (OR GRAIN).
 - 14. 2 1/2" x 4" x 8" OAK OR WOOD PANEL STAIN (OR GRAIN).
 - 15. 2 1/2" x 4" x 8" OAK OR WOOD PANEL STAIN (OR GRAIN).
 - 16. 2 1/2" x 4" x 8" OAK OR WOOD PANEL STAIN (OR GRAIN).
 - 17. 2 1/2" x 4" x 8" OAK OR WOOD PANEL STAIN (OR GRAIN).
 - 18. 2 1/2" x 4" x 8" OAK OR WOOD PANEL STAIN (OR GRAIN).
 - 19. 2 1/2" x 4" x 8" OAK OR WOOD PANEL STAIN (OR GRAIN).
 - 20. 2 1/2" x 4" x 8" OAK OR WOOD PANEL STAIN (OR GRAIN).

WINDOW SCHEDULE: VILLA

TYPE	SIZE	REMARKS	QTY
1	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
2	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
3	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
4	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
5	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
6	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
7	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
8	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
9	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
10	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
11	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
12	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
13	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
14	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
15	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
16	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
17	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
18	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
19	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
20	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
TOTAL			40

WINDOW SCHEDULE: CHATEAU

TYPE	SIZE	REMARKS	QTY
1	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
2	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
3	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
4	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
5	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
6	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
7	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
8	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
9	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
10	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
11	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
12	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
13	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
14	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
15	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
16	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
17	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
18	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
19	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
20	12'-0" x 2'-0"	1/2" SINGLE GLASS, INSULATED	2
TOTAL			40



CHATEAU - CHATEAU SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



DATE: 11-30-21
 DRAWING NO: 21-035
 PROJECT NAME: VILLA
 PROJECT ADDRESS: 1133 N. 10TH ST., PHOENIX, AZ 85016

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REVISIONS

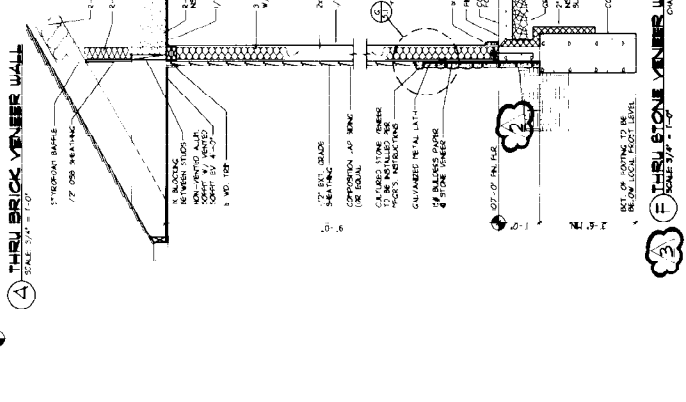
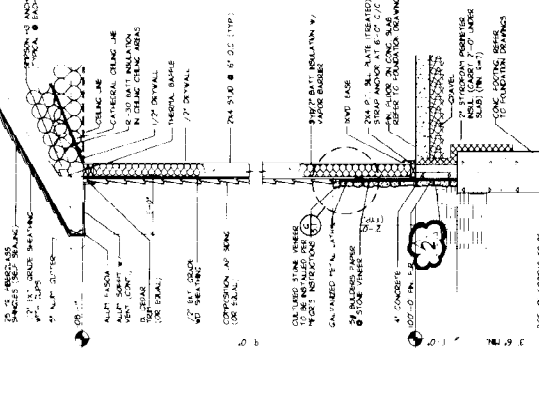
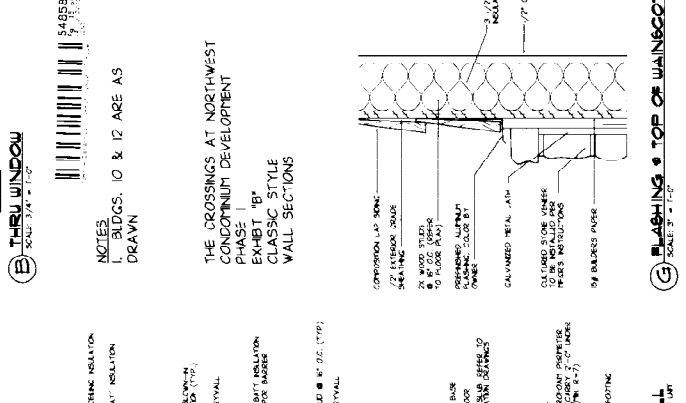
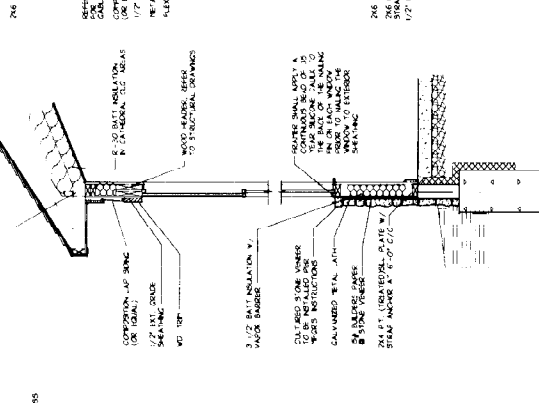
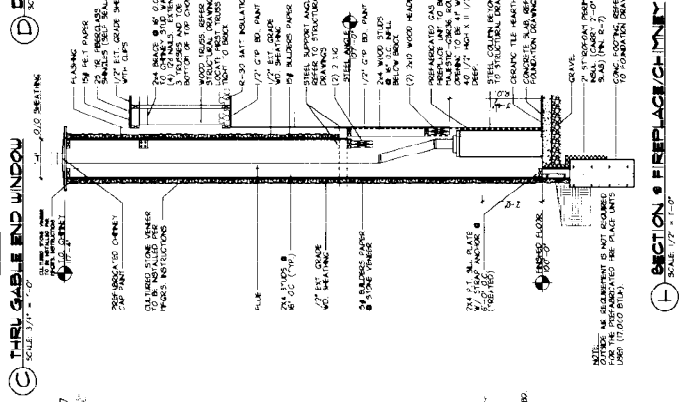
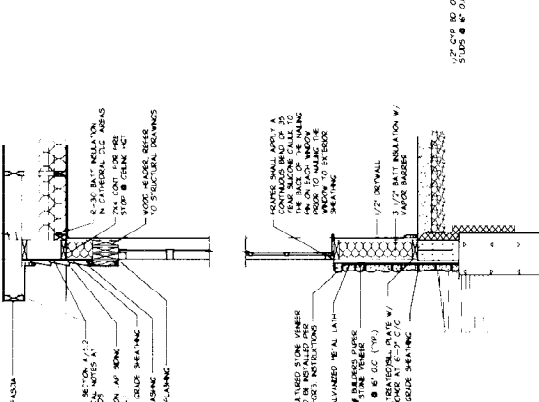
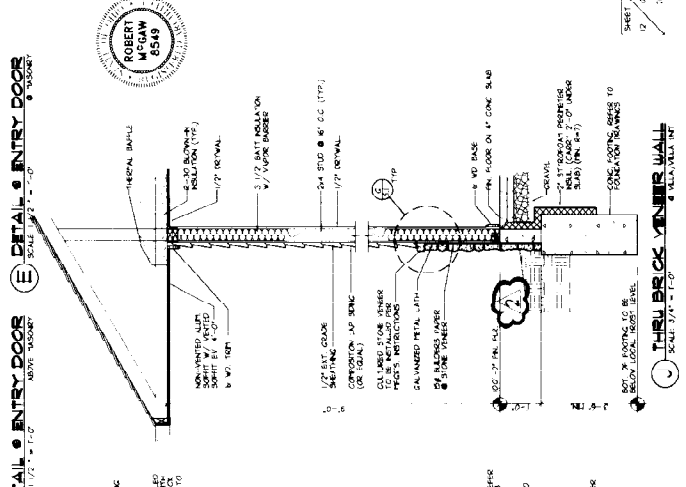
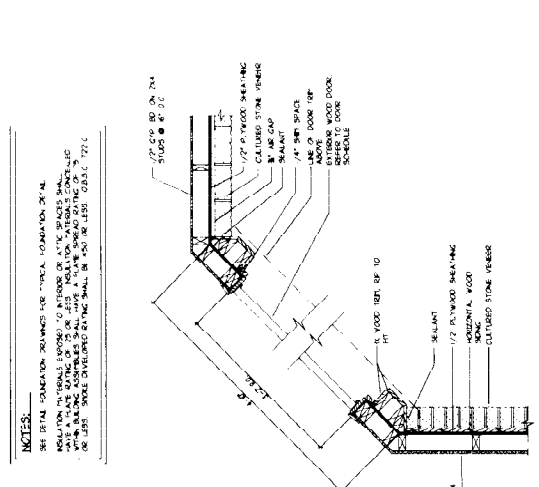
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 Photographer: _____
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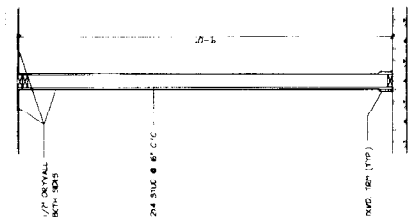
PROJECTIONS
 Date: _____
 Designer: _____
 Checker: _____
 Approver: _____

REVISIONS
 Date: _____
 Designer: _____
 Checker: _____
 Approver: _____

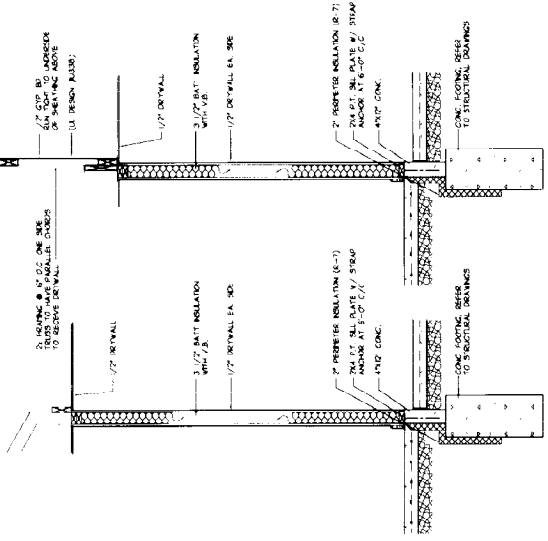
PROJECT INFORMATION
 Project Name: _____
 Project Number: _____
 Site Address: _____



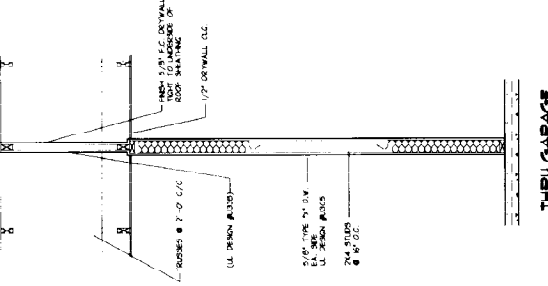
NOTES
 SEE DETAIL C-13 FOR TYPICAL CONNECTION DETAIL AT THROUGH WALL.
 INSULATION MATERIALS SPECIFIED TO RESISTOR OR PLATE SPACES SHALL HAVE A MINIMUM R VALUE OF 2.0. ALL LISTS SHALL HAVE A MINIMUM R VALUE OF 1.5. SPACES DEVELOPED BY THIS WALL SHALL BE R-10 OR R-15. 10/28/13



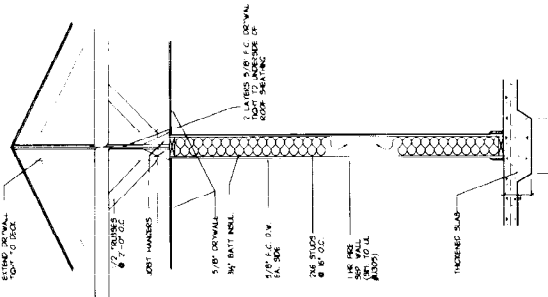
A TYPICAL INTERIOR WALL
 SCALE 3/4" = 1'-0"



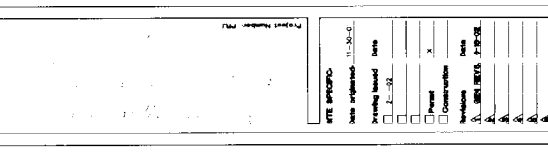
B THRU GARAGE WALL
 SCALE 3/4" = 1'-0"



C THRU GARAGE WALL
 SCALE 3/4" = 1'-0"



D THRU GARAGE WALL
 SCALE 3/4" = 1'-0"



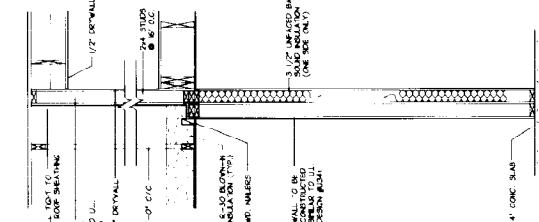
E THRU GARAGE WALL
 SCALE 3/4" = 1'-0"



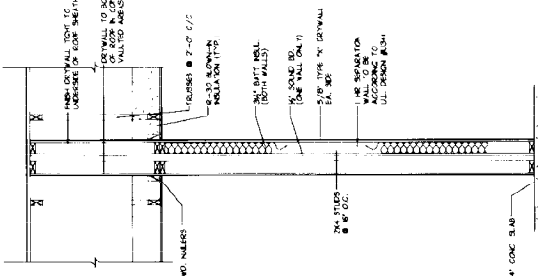
54325107

NOTES
 BLDGS. 10 & 12 ARE AS DRAWN

THE CROSSINGS AT NORTHWEST
 CONDOMINIUM DEVELOPMENT
 PHASE 1
 EXHIBIT "B"
 CLASSIC STYLE
 WALL SECTIONS



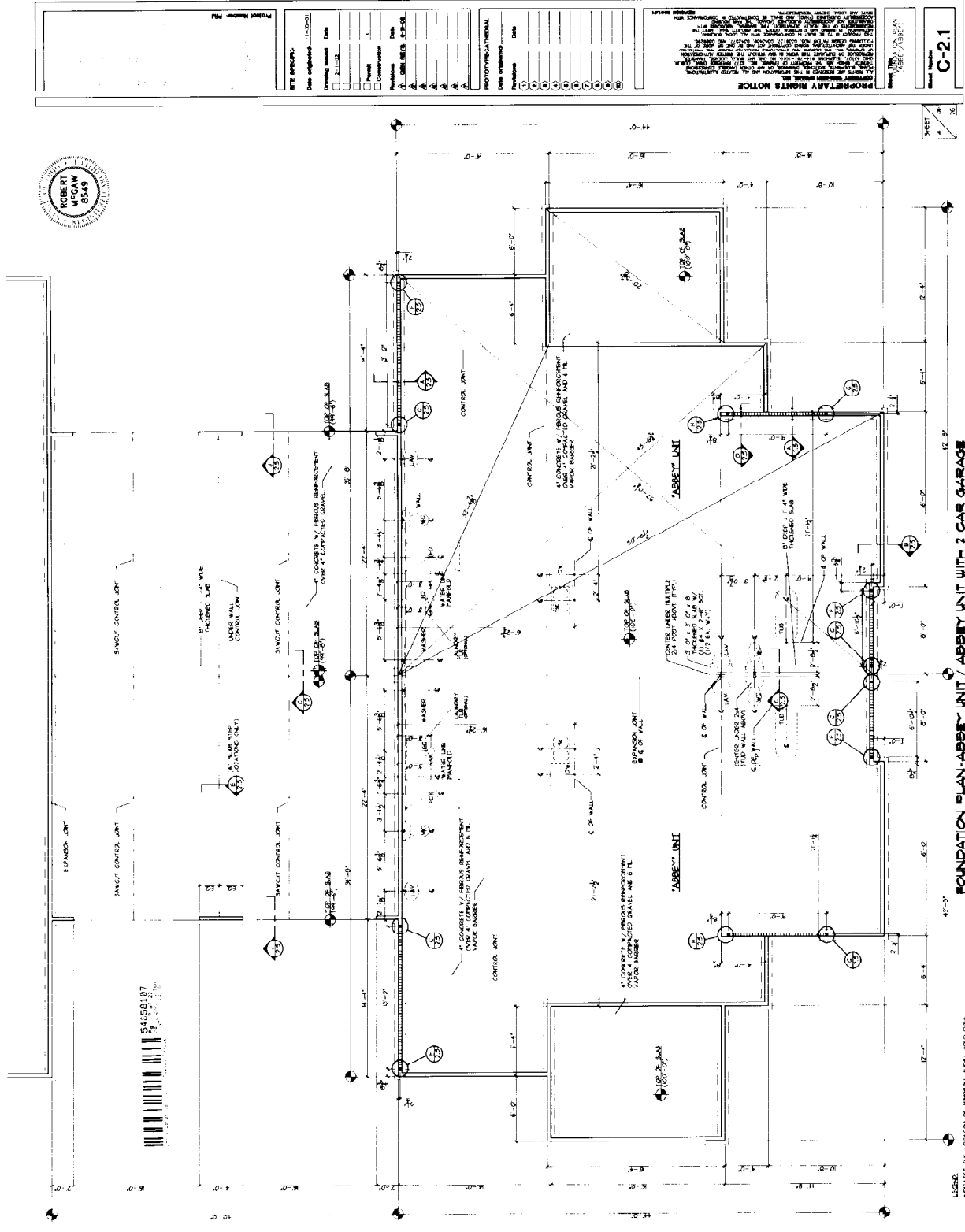
F THRU TENANT SEPARATION WALL
 SCALE 3/4" = 1'-0"



G THRU TENANT SEPARATION WALL
 SCALE 3/4" = 1'-0"

PROJECT INFORMATION	
Job No.	11-50-0
Project Name	11-50-0
Drawn By	
Checked By	
Scale	
Notes	
Revisions	
Date	
Author	
Checker	
Designer	
Estimator	
Contractor	
Permit	
Construction	
Notes	
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Sheet Title
 WALL SECTIONS
 Sheet Number
 11 00 5.2
 26



NOTES
 BLDG. # TYPE
 11 6

THE GROESBECKS AT NORTHWEST
 CONDORNIUM DEVELOPMENT
 PHASE 1B
 EXHIBIT 19
 CATHEDRAL STYLE
 FOUNDATION & FLOOR PLANS

LEGEND:
 * SEE EXHIBIT 19, PHASE 1B, FOR CONCRETE REINFORCEMENT DETAILS.
 ** SEE EXHIBIT 19, PHASE 1B, FOR REINFORCEMENT DETAILS.
 *** SEE EXHIBIT 19, PHASE 1B, FOR REINFORCEMENT DETAILS.
 **** SEE EXHIBIT 19, PHASE 1B, FOR REINFORCEMENT DETAILS.

FOUNDATION PLAN - ABBNEY UNIT / CAR GARAGE
 SCALE: 1/4" = 1'-0"

REINFORCEMENT BAR SIZES: FOR 1000 P.S.I. (AS SHOWN)

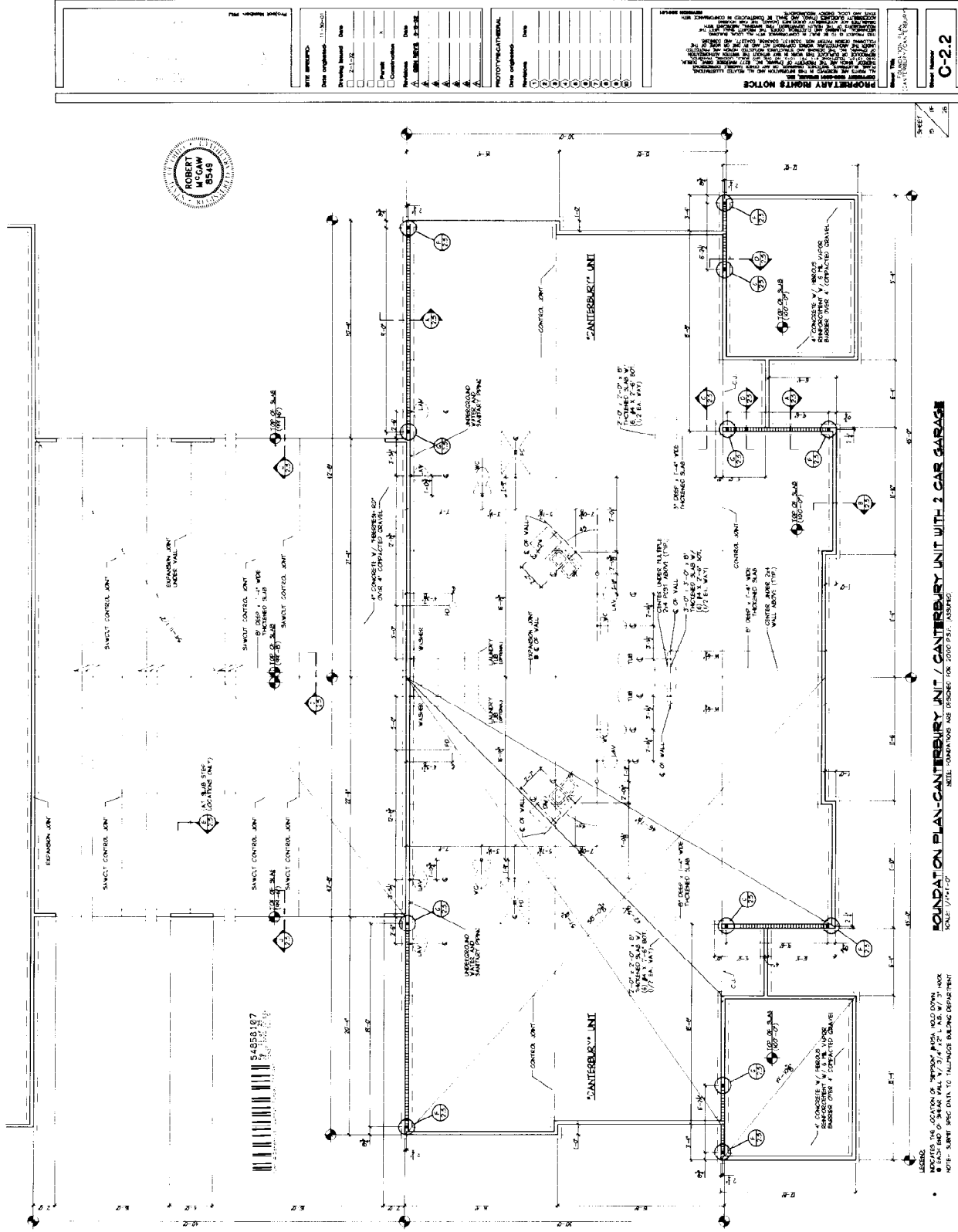
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PROJECT INFORMATION

Date: _____
 Project Name: _____

SHEET NO. 7



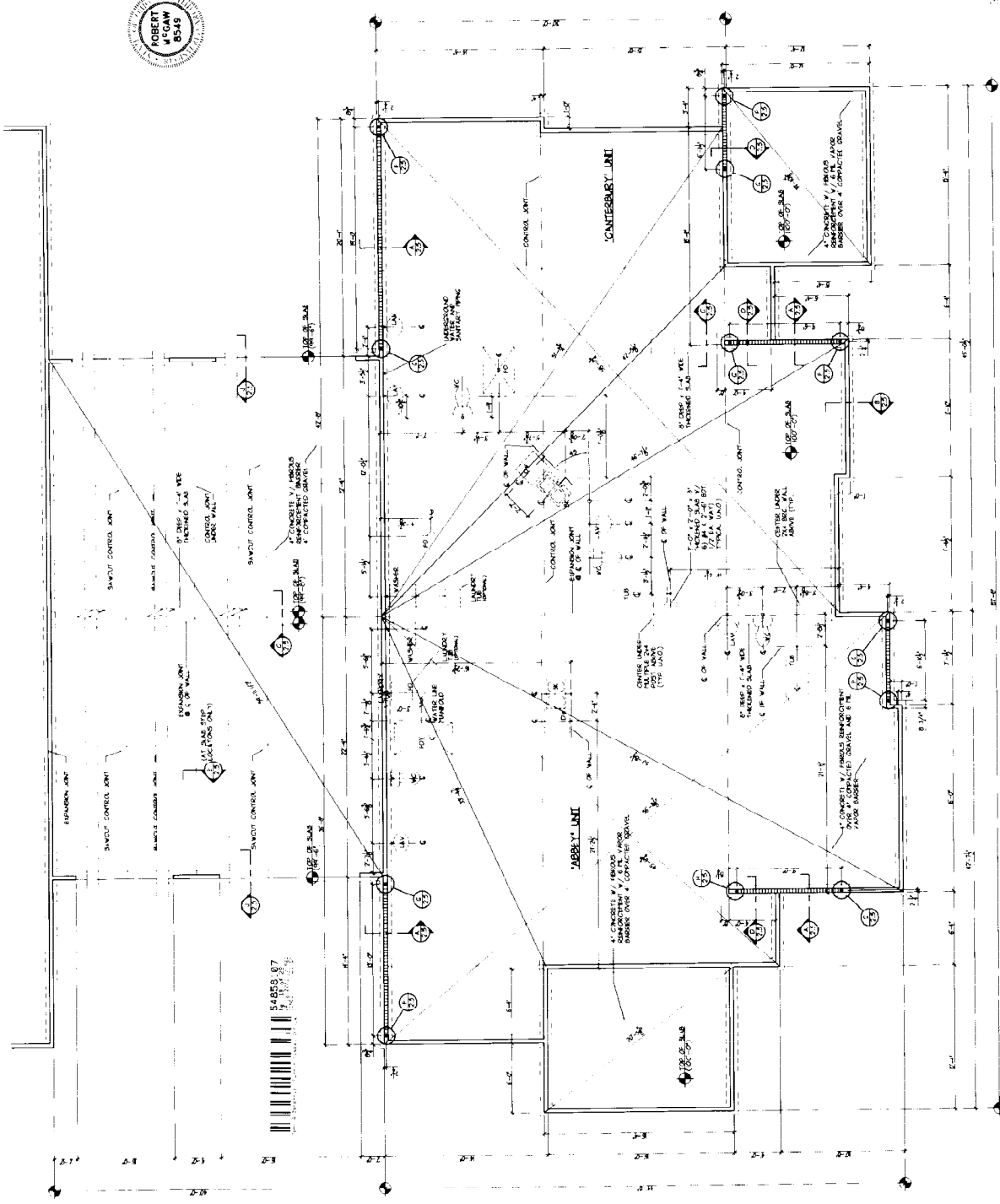
NOTES
 1. BLOC. # TYPE 5

THE CROSSINGS AT NORTH-WEST
 CONDOMINIUM DEVELOPMENT
 PHASE I
 EXHIBIT 'B'
 CATHEDRAL STYLE
 FOUNDATION & FLOOR PLANS

REVISIONS:
 1. SHOW THE LOCATION OF REVISION FROM LOCATION
 2. SHOW END OF SHEAR WALL AT 1/2" FROM FACE OF WALL
 NOTE: SHEAR WALL TO TALLING BUILDING DEPARTMENT
 INDICATES LOCATIONS OF SHEAR WALL (ALSO REFER TO FLOOR PLAN)

FOUNDATION PLAN-CANTENERY UNIT / CANTENERY UNIT WITH 2 CAR GARAGE
 SCALE: 1/4"=1'-0"
 NEEL COMPANY INC. DESIGNED FOR 2000 P.S.F. (AS PER)

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PROJECT NUMBER: _____ PROJECT NAME: _____ DATE: _____	SHEET NO. _____ TOTAL SHEETS: _____
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DATE REVISION: _____ REVISION: _____	DATE REVISION: _____ REVISION: _____



NOTES
Bldg. # TYPE
6

THE CROSSINGS AT NORTHWEST
CONDOMINIUM DEVELOPMENT
PHASE I
EXHIBIT 'B'
CATHEDRAL STYLE
FOUNDATION & FLOOR PLANS

- LEGEND
- INDICATES THE LOCATION OF "TYPICAL" PITCH WALK DOWN
 - LOCUS OF SHALE WALL (3/4" TYP. AS V) MAKE
 - NOTE - SHIRT BENEATH TO INFLUENCE SLAB CURVE
 - INDICATES LOCATION OF SHALE WALL (ASR REFER TO FLOOR PLAN)

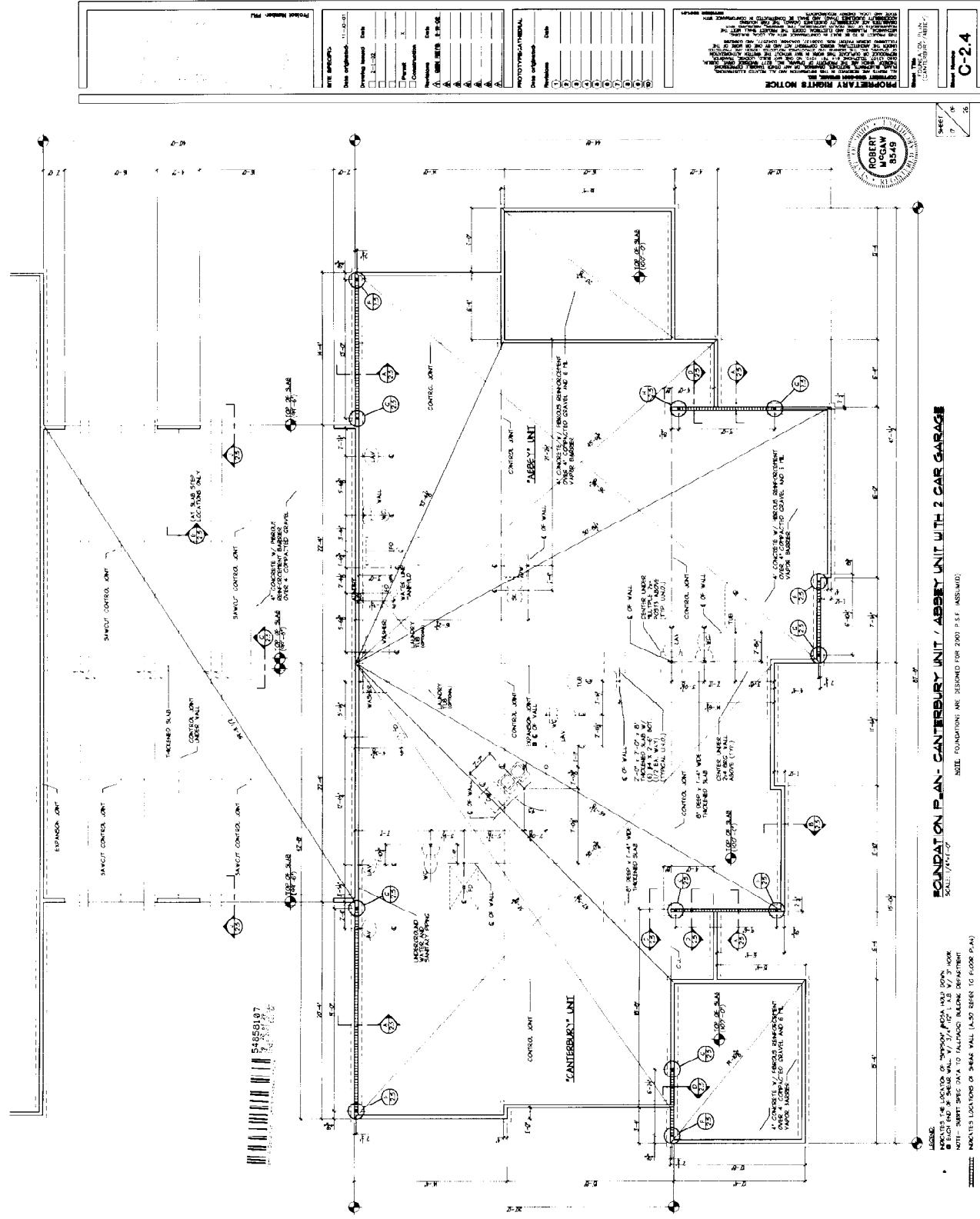
FOUNDATION PLAN-ABBEY UNIT / CANTERBURY UNIT WITH 2 CAR GARAGE
SCALE: 1/8"=1'-0"

NEEL FOUNDATIONS ARE DESIGNED FOR 2800 P.S.F. (ASSUMED)

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DATE	11.15.11
DRAWING NUMBER	11.15.11
PROJECT NUMBER	11.15.11

SHEET 14 OF 26
C-23



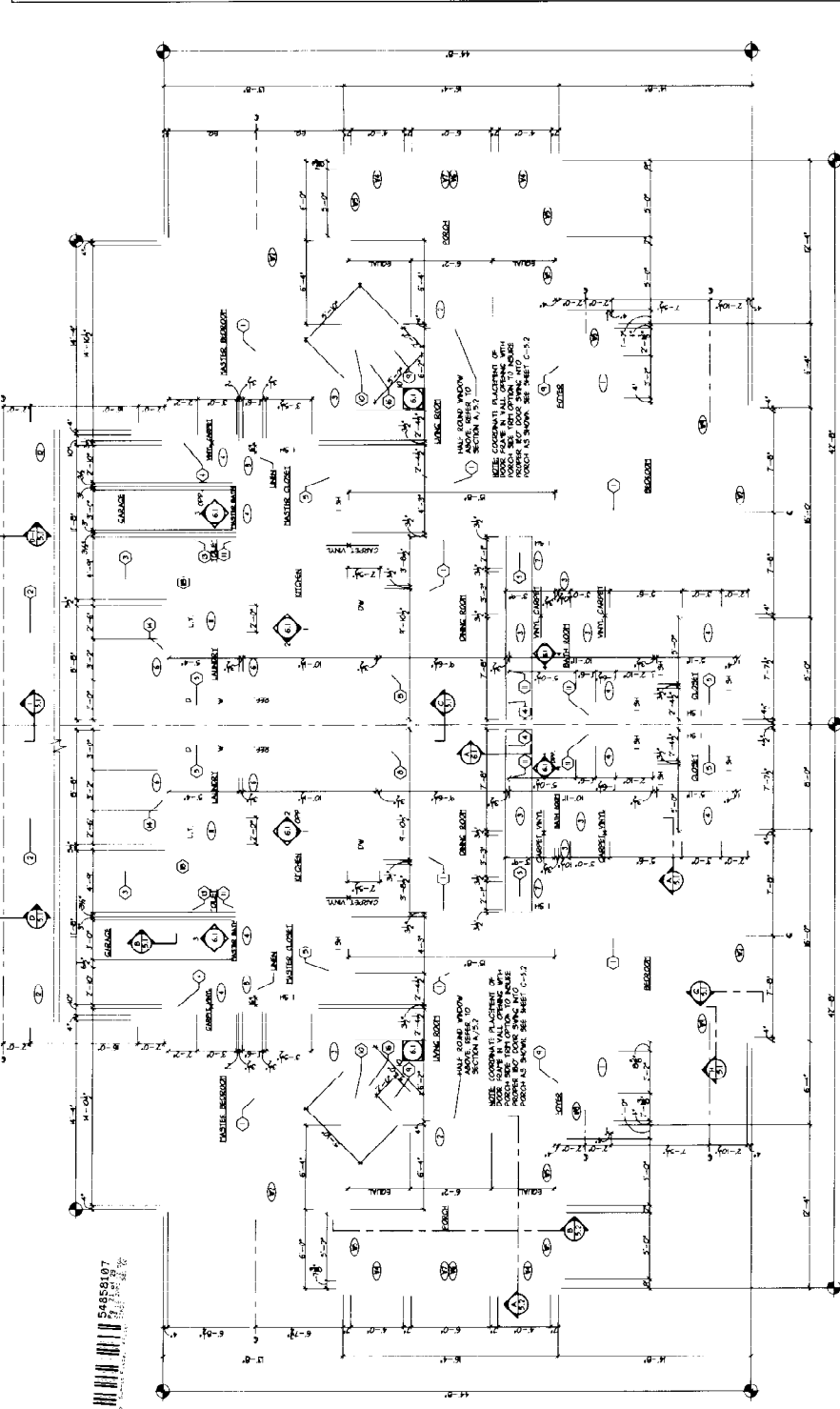
NOTES
 BLDG. # TYPE
 11 6

THE CROSSINGS A NORTHWEST
 CONDOMINIUM DEVELOPMENT
 PHASE I
 EXHIBIT "B"
 CATHEDRAL STYLE
 FOUNDATION & FLOOR PLANS

LEGEND:
 1. CONCRETE W/ FIBER REINFORCEMENT
 2. CONCRETE W/ FIBER REINFORCEMENT
 3. CONCRETE W/ FIBER REINFORCEMENT
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 92. CONCRETE W/ FIBER REINFORCEMENT
 93. CONCRETE W/ FIBER REINFORCEMENT
 94. CONCRETE W/ FIBER REINFORCEMENT
 95. CONCRETE W/ FIBER REINFORCEMENT
 96. CONCRETE W/ FIBER REINFORCEMENT
 97. CONCRETE W/ FIBER REINFORCEMENT
 98. CONCRETE W/ FIBER REINFORCEMENT
 99. CONCRETE W/ FIBER REINFORCEMENT
 100. CONCRETE W/ FIBER REINFORCEMENT

FOUNDATION PLAN - CANTERBURY UNIT / ABBEY UNIT WITH 2 CAR GARAGE
 SCALE: 1/4" = 1'-0"
 DATE: 7/16/20
 SHEET: C-24
 PROJECT: THE CROSSINGS A NORTHWEST CONDOMINIUM DEVELOPMENT PHASE I EXHIBIT "B" CATHEDRAL STYLE FOUNDATION & FLOOR PLANS
 DESIGNER: ROBERT MCGRAW, P.E.
 CHECKER: [Name]
 APPROVER: [Name]

PROFESSIONAL ENGINEER'S NOTICE I hereby certify that I am a duly Licensed Professional Engineer in the State of Illinois, License No. 123456789, and that I am the author of the design herein. I am not providing any services herein which require the services of a Professional Engineer in the State of Illinois. I am not providing any services herein which require the services of a Professional Engineer in the State of Illinois.	
Date of preparation: 11-20-21 Drawing issued: Date: 11-20-21 Checked by: [Signature] Drawn by: [Signature]	Date of preparation: 11-20-21 Drawing issued: Date: 11-20-21 Checked by: [Signature] Drawn by: [Signature]



FLOOR PLAN CODED NOTES

- ① SIZE OF VALVE CLEAN
- ② 1/2" WIDE DOOR OR TOP OF
- ③ ALL 3/4" DIA. (27" W) TUBS UNITS
- ④ RECESSED TUBING CABINET
- ⑤ WIDE SHUTTERS
- ⑥ NOT USED THIS UNIT
- ⑦ WIDE COUNTERTOP 8 1/2" WIDE
- ⑧ 1/2" WIDE COUNTERTOP
- ⑨ 1/2" WIDE COUNTERTOP
- ⑩ 1/2" WIDE COUNTERTOP
- ⑪ 1/2" WIDE COUNTERTOP
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- ⑰ 1/2" WIDE COUNTERTOP
- ⑱ 1/2" WIDE COUNTERTOP
- ⑲ 1/2" WIDE COUNTERTOP

UNLATCHED
 DOOR HANDLE
 TO SHEET 1.2

SCALE: 1/4" = 1'-0"
 REPRESENT AREA OF RECESSED SHELF/SOFT MOVE

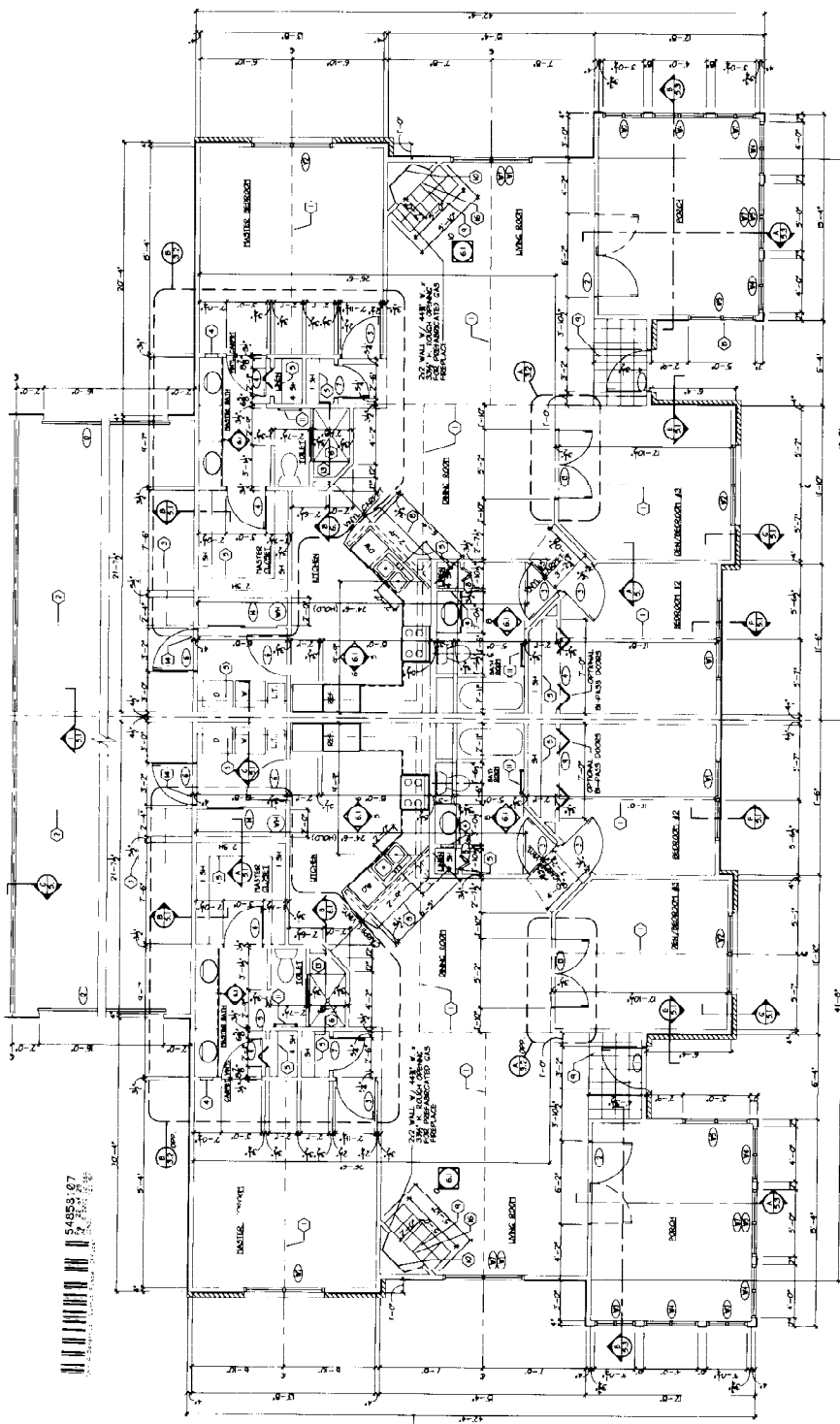
NOTE:
 ROOM AND CLOSET FOR DOOR AND
 RECESSED CABINETS

NOTES:
 BLDG. # 6
 TYPE 6
 THE CROSSINGS AT NORTH-WEST
 CONDOMINIUM DEVELOPMENT
 PHASE "B"
 CATHEDRAL STYLE
 FOUNDATION & FLOOR PLANS

SHEET 15 OF 26

C-3.1

<p>PROJECT NUMBER: 54853.07</p> <p>DATE: 11-28-01</p> <p>DATE REVISION: 11-28-01</p>		<p>DATE REVISION: 11-28-01</p> <p>DATE REVISION: 11-28-01</p> <p>DATE REVISION: 11-28-01</p>	
<p>DATE REVISION: 11-28-01</p> <p>DATE REVISION: 11-28-01</p> <p>DATE REVISION: 11-28-01</p>		<p>DATE REVISION: 11-28-01</p> <p>DATE REVISION: 11-28-01</p> <p>DATE REVISION: 11-28-01</p>	

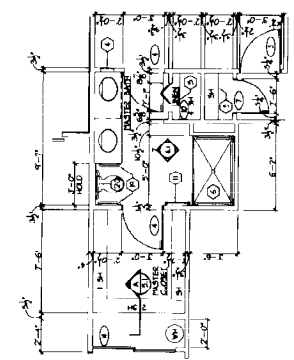


- FLOOR PLAN CODED NOTES**
1. EDGE OF WALL TO CEILING
 2. 1/2" WIDE TRIM ON TOP OF
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CANTERBURY-CANTERBURY UNIT PLAN

NOTE: SHADOW AREAS REPRESENT AREA OF RECESSED SHELF/DOOR ABOVE.

NOTE: REFER TO SHEET C-32 FOR FLOOR AND ROOM NUMBER SCHEDULES.



ALTERNATE H.C. BATHROOM PLAN
SCALE: 1/4"=1'-0"
© MASTER BATH

ALTERNATE PLANS
BEDROOM #3
TYPE 6

THE CROSSINGS AT NORTHWEST
CONDOMINIUM DEVELOPMENT
PHASE 1
EXHIBIT "B"
CATHEDRAL STYLE
FOUNDATIONS & FLOOR PLANS

C-32



SHEET 26 OF 26

PROJECT NUMBER: 97 SHEET NUMBER: C-3.3 DATE: 11.20.01	
DESIGNER: [] CHECKED: [] DATE: 11.20.01	PROJECT: [] DATE: 11.20.01
APPROVED: [] DATE: 11.20.01	PROJECT: [] DATE: 11.20.01

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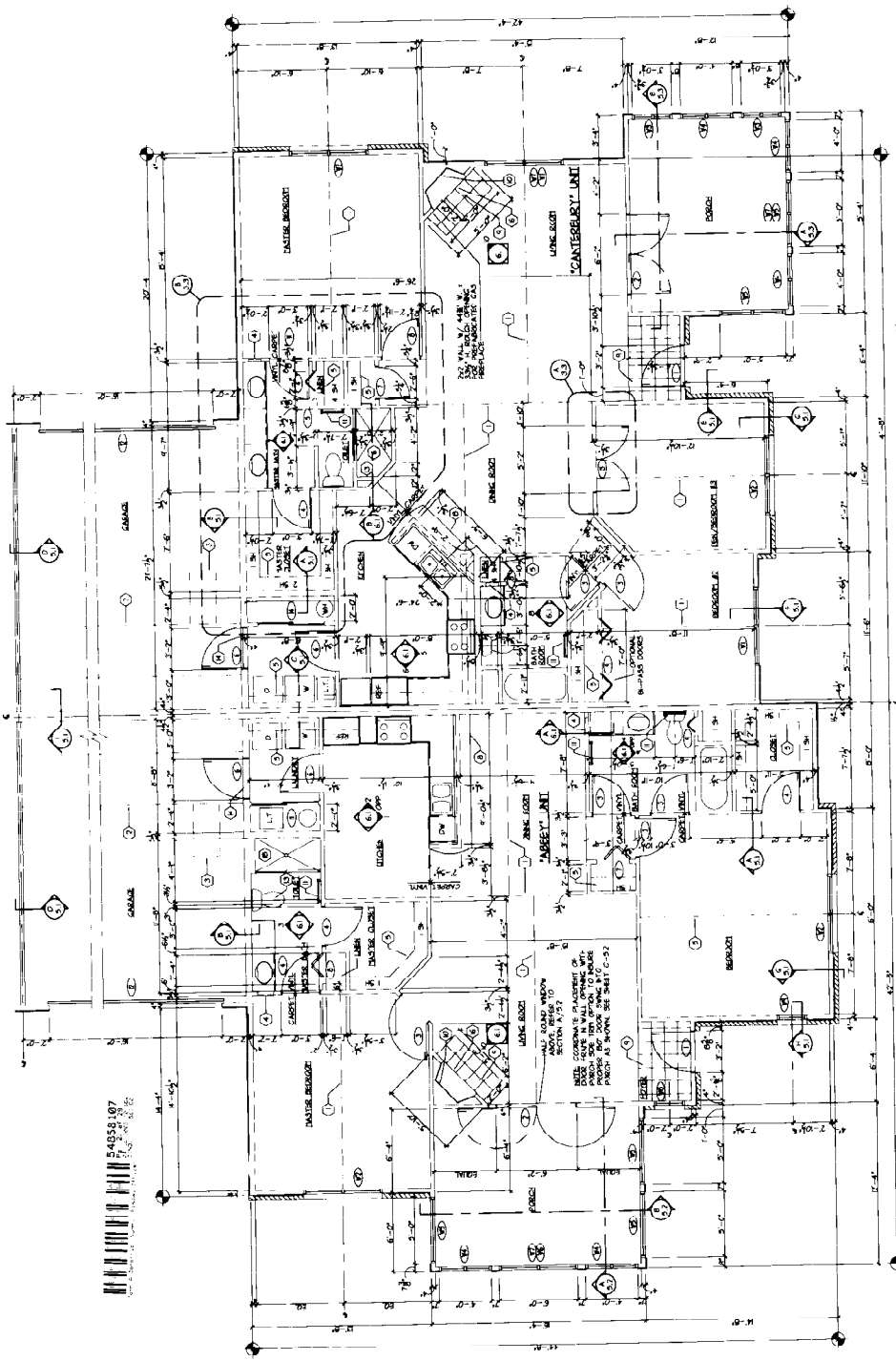
DATE: 11.20.01

PROJECT: []

DATE: 11.20.01

PROJECT: []

DATE: 11.20.01



FLOOR PLAN CORRID NOTES

- 1) REMOVE VALUED CORRID
- 2) REMOVE VALUED CORRID ON TOP OF
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ABBAY-CANTERBURY UNIT PLAN
SCALE: 1/4"=1'-0"

ALTERNATE H.C. BATHROOM PLAN
SCALE: 1/4"=1'-0"

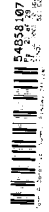
ALTERNATE PLAN @ BE-20.001 #3
SCALE: 1/4"=1'-0"

ALTERNATE PLAN @ MASTER BATH
SCALE: 1/4"=1'-0"

NOTES TO SHEET C-6.2 OR
REFER TO SHEET C-6.2 OR
DOOR AND ROOM FINISH
SCHEDULES

BLOC. # TYPE
11 5

THE CROSSINGS AT NORTHWEST
CONDOMINIUM DEVELOPMENT
PHASE I
EXHIBIT "B"
CATHEDRAL STYLE
FOUNDATION & FLOOR PLANS



Project Name: CANTERBURY-ABBOT UNIT PLAN

Scale: 1/8" = 1'-0"

DATE: 11-20-01

DESIGNED BY: [Name]

CHECKED BY: [Name]

DATE: 11-20-01

PROJECT NO.: 54853167

DATE: 11-20-01

REVISIONS:

NO.	DESCRIPTION	DATE

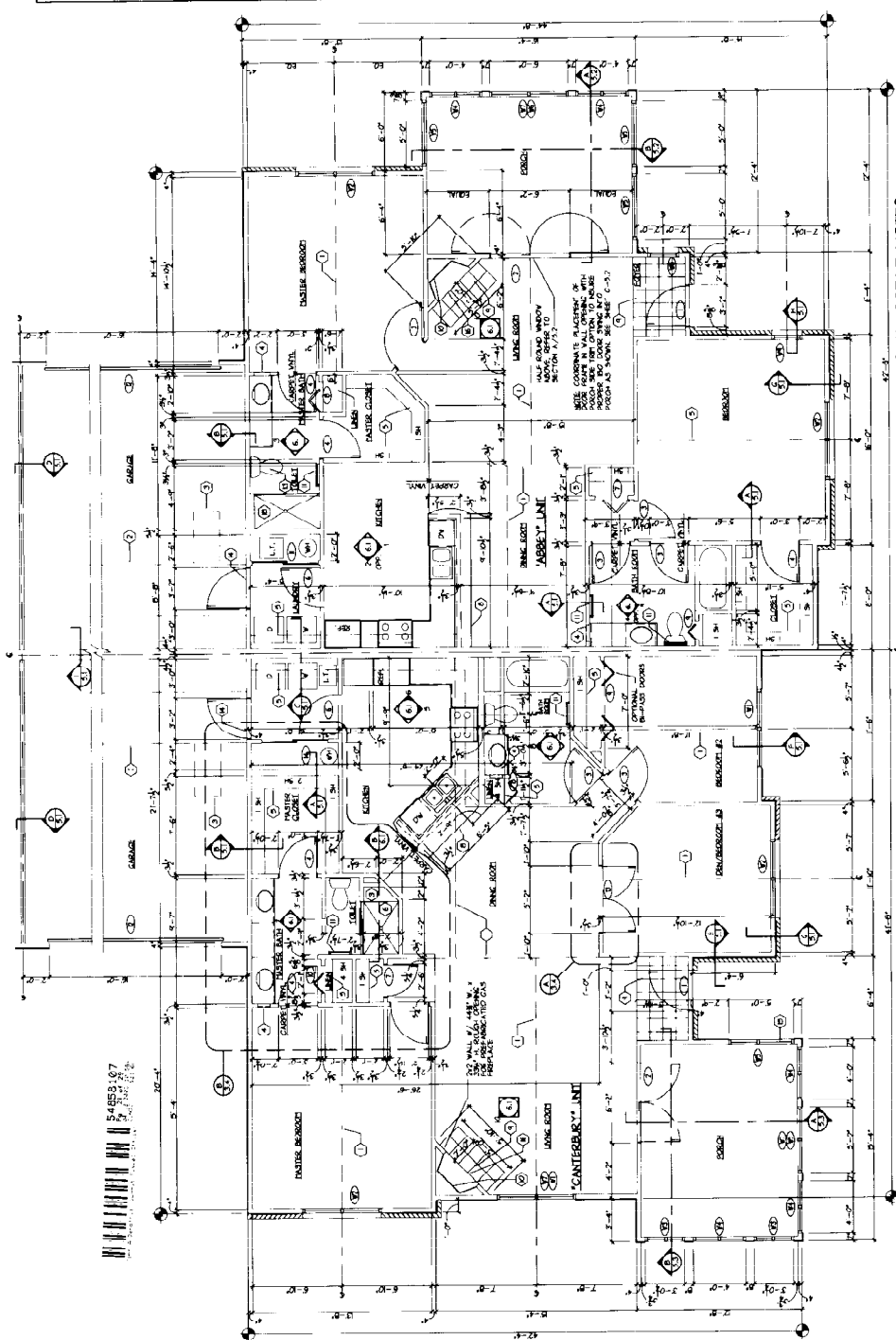
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DATE: 11-20-01

PROJECT NO.: 54853167

DATE: 11-20-01



- ### FLOOR PLAN CODED NOTES
- DOES IN WALL TO CLARK
 4. W/S 1/2\"/>

CANTERBURY-ABBOT UNIT PLAN

SCALE: 1/8" = 1'-0"

DATE: 11-20-01

PROJECT NO.: 54853167

DATE: 11-20-01

REVISIONS:

NO.	DESCRIPTION	DATE

- NOTE: SHOWN AREAS [] REMOVED LOCATION OF REFERRED SHEET SHOWN ABOVE.
- NOTE: SEE SHEETS C/3 & C/4 FOR DOOR AND WINDOW SCHEDULES.

NOTES:

BLOC. # 6

TYPE 6

THE CROSSINGS AT NORTHWEST CONDOMINIUM DEVELOPMENT

PHASE I

EXHIBIT "B"

CATHEDRAL STYLE

FOUNDATN & FLOOR PLANS

DATE: 11-20-01

PROJECT NO.: 54853167

DATE: 11-20-01

REVISIONS:

NO.	DESCRIPTION	DATE

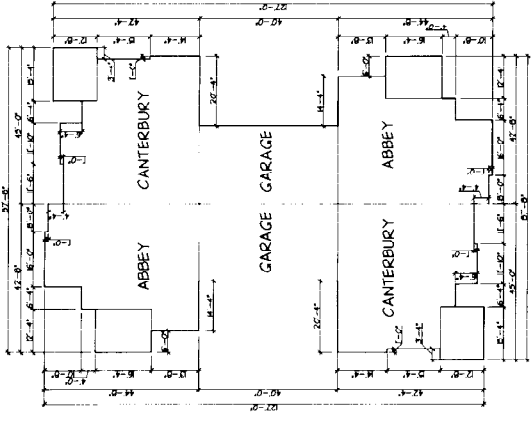
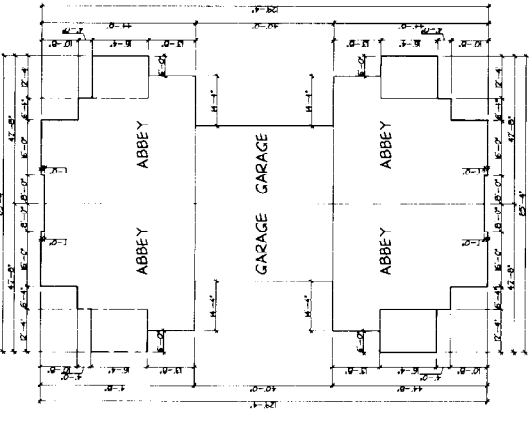
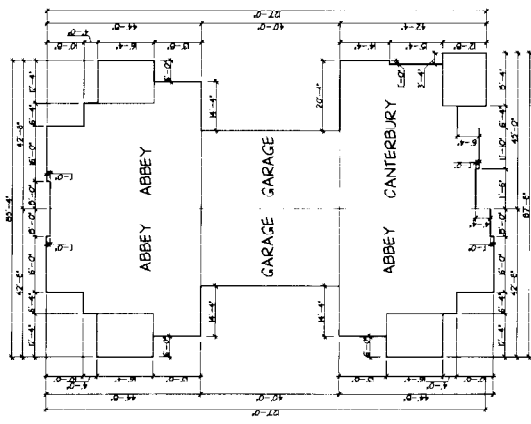
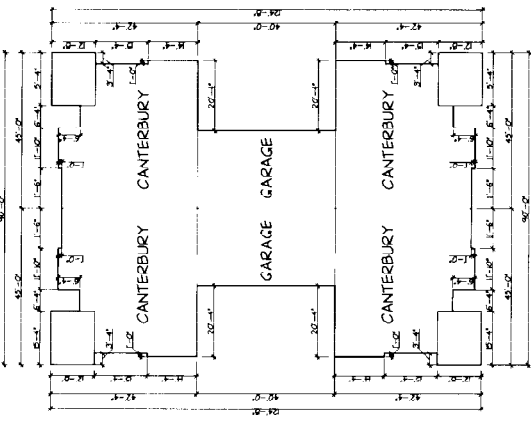
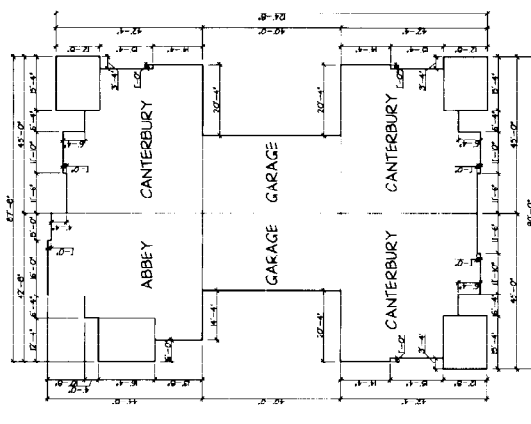
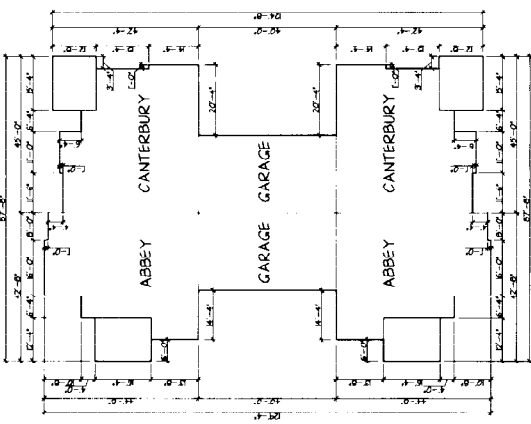
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Drawing Name: PH		Date: 11/20/01	
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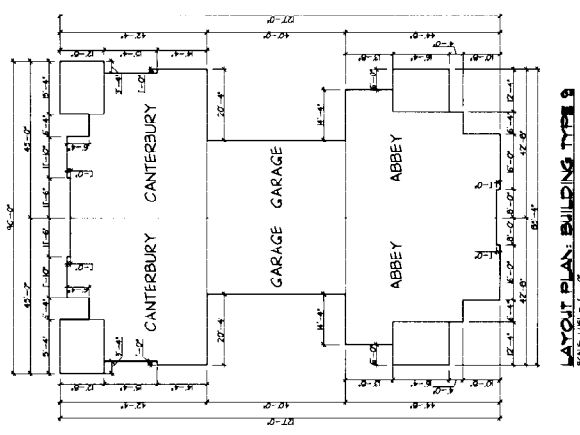
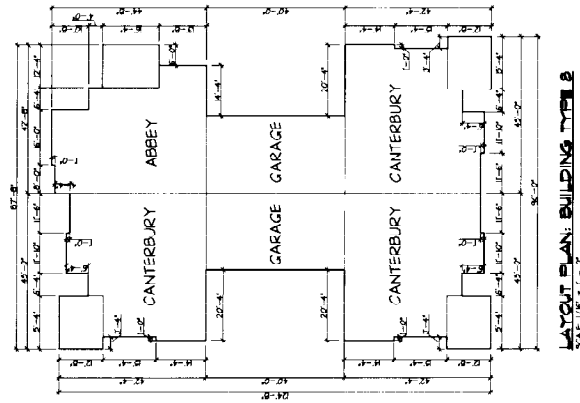
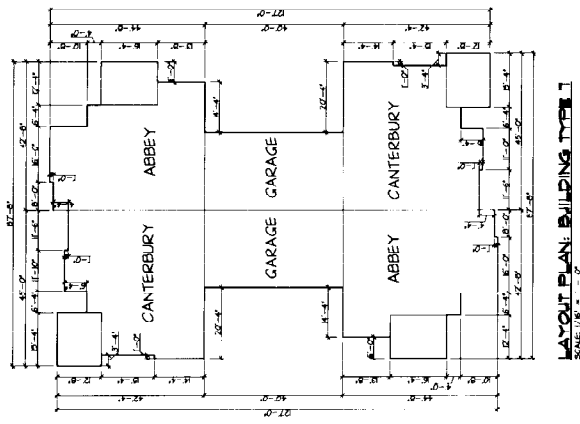
NOTES
 BLDG. # **11** TYPE **6**

THE CROSSINGS AT
 NORTHWEST
 CONDOMINIUM DEVELOPMENT
 EXHIBIT "B"
 CATHEDRAL STYLE
 FOUNDATION & FLOOR
 PLANS



SHEET 12 OF 26





NOTES:
BLDG. # TYPE
11 6

THE CROSSINGS AT NORTHWEST
CONDOMINIUM DEVELOPMENT
PHASE
EXHIBIT 'B'
CATHEDRAL STYLE
FOUNDATION & FLOOR PLANS

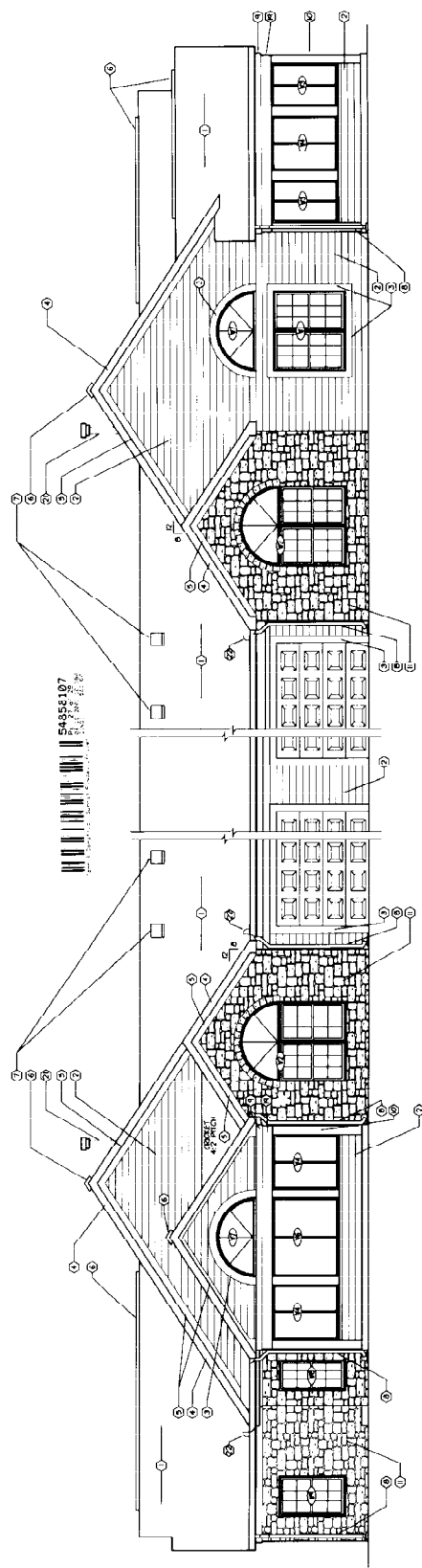


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Sheet Title
BUILDING LAYOUT PLANS
Sheet Number
C-3.5.5

SHEET
13 OF 26

DATE: 11-20-20
DRAWING NUMBER: 11-20-20
PROJECT NUMBER: 11-20-20
PROJECT NAME: THE CROSSINGS AT NORTHWEST CONDOMINIUM DEVELOPMENT PHASE EXHIBIT 'B' CATHEDRAL STYLE FOUNDATION & FLOOR PLANS



ABBAY UNIT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

CODED NOTES: GENERAL NOTE: SEE DIMENSIONS SCHEDULE. ALL DIMENSIONS ARE TYPICAL UNLESS INDICATED OTHERWISE.
 1. ABOVE: REFRIGERATION UNITS SHALL BE MOUNTED AS SHOWN IN SECTION. USE 1/2" POLYURETHANE INSULATION.
 2. ABOVE: 1/4" GYP BOARD ON STAIN (OR EQUAL).
 3. ABOVE: 1/4" GYP BOARD ON STAIN (OR EQUAL).
 4. ABOVE: 1/2" GYP BOARD ON STAIN (OR EQUAL).
 5. ABOVE: 1/2" GYP BOARD ON STAIN (OR EQUAL).
 6. ABOVE: 1/2" GYP BOARD ON STAIN (OR EQUAL).
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 9. ABOVE: 1/2" GYP BOARD ON STAIN (OR EQUAL).
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 18. ABOVE: 1/2" GYP BOARD ON STAIN (OR EQUAL).
 19. ABOVE: 1/2" GYP BOARD ON STAIN (OR EQUAL).
 20. ABOVE: 1/2" GYP BOARD ON STAIN (OR EQUAL).

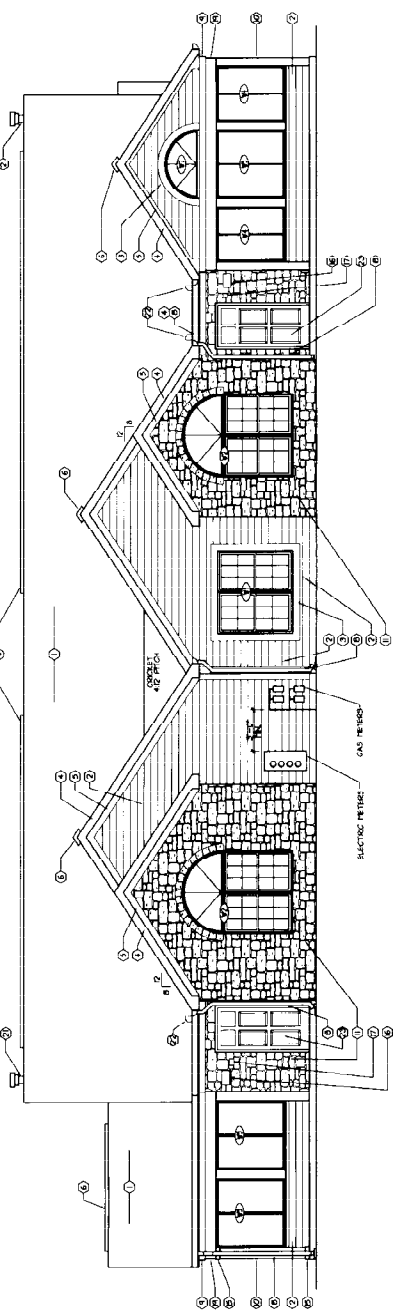
WINDOW SCHEDULE: ABBEY

TYPE	SIZE	CLEAR OPENING	REMARKS	QUANTITY
02	NOT USED	---	---	---
03	2'-0" x 3'-6"	2'-0" x 3'-6"	TWIN VINYL SINGLE HUNG, 47' THERM-BREAK, INSULATED	2
04	2'-0" x 3'-6"	2'-0" x 3'-6"	VINYL SINGLE HUNG, INSULATED	2
05	2'-0" x 3'-6"	2'-0" x 3'-6"	VINYL SINGLE HUNG, INSULATED	2
06	2'-0" x 3'-6"	2'-0" x 3'-6"	VINYL THERM-BREAK, 47' THERM-BREAK, INSULATED	2
07	2'-0" x 3'-6"	2'-0" x 3'-6"	VINYL THERM-BREAK, 47' THERM-BREAK, INSULATED	2
08	2'-0" x 3'-6"	2'-0" x 3'-6"	VINYL THERM-BREAK, 47' THERM-BREAK, INSULATED	2
09	2'-0" x 3'-6"	2'-0" x 3'-6"	VINYL THERM-BREAK, 47' THERM-BREAK, INSULATED	2
10	2'-0" x 3'-6"	2'-0" x 3'-6"	VINYL THERM-BREAK, 47' THERM-BREAK, INSULATED	2
11	2'-0" x 3'-6"	2'-0" x 3'-6"	VINYL THERM-BREAK, 47' THERM-BREAK, INSULATED	2
12	2'-0" x 3'-6"	2'-0" x 3'-6"	VINYL THERM-BREAK, 47' THERM-BREAK, INSULATED	2
TOTAL				12

WINDOW SCHEDULE: CANTERBURY

TYPE	SIZE	CLEAR OPENING	REMARKS	QUANTITY
01	2'-0" x 3'-6"	2'-0" x 3'-6"	TWIN VINYL SINGLE HUNG, 47' THERM-BREAK, INSULATED	2
02	2'-0" x 3'-6"	2'-0" x 3'-6"	TWIN VINYL SINGLE HUNG, 47' THERM-BREAK, INSULATED	2
03	2'-0" x 3'-6"	2'-0" x 3'-6"	TWIN VINYL SINGLE HUNG, 47' THERM-BREAK, INSULATED	2
04	2'-0" x 3'-6"	2'-0" x 3'-6"	TWIN VINYL SINGLE HUNG, 47' THERM-BREAK, INSULATED	2
05	2'-0" x 3'-6"	2'-0" x 3'-6"	TWIN VINYL SINGLE HUNG, 47' THERM-BREAK, INSULATED	2
06	2'-0" x 3'-6"	2'-0" x 3'-6"	TWIN VINYL SINGLE HUNG, 47' THERM-BREAK, INSULATED	2
07	2'-0" x 3'-6"	2'-0" x 3'-6"	TWIN VINYL SINGLE HUNG, 47' THERM-BREAK, INSULATED	2
08	2'-0" x 3'-6"	2'-0" x 3'-6"	TWIN VINYL SINGLE HUNG, 47' THERM-BREAK, INSULATED	2
09	2'-0" x 3'-6"	2'-0" x 3'-6"	TWIN VINYL SINGLE HUNG, 47' THERM-BREAK, INSULATED	2
10	2'-0" x 3'-6"	2'-0" x 3'-6"	TWIN VINYL SINGLE HUNG, 47' THERM-BREAK, INSULATED	2
TOTAL				13

CANTERBURY UNIT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



ABBAY - CANTERBURY SIDE ELEVATION
SCALE: 1/4" = 1'-0"

NOTES:
 BLOC. # 11
 TYPE 6

**THE CROSSINGS AT NORTHWEST
 CONDORINIUM DEVELOPMENT
 PHASE I
 EXHIBIT 'B'
 CATHEDRAL STYLE
 ELEVATION VIEWS**

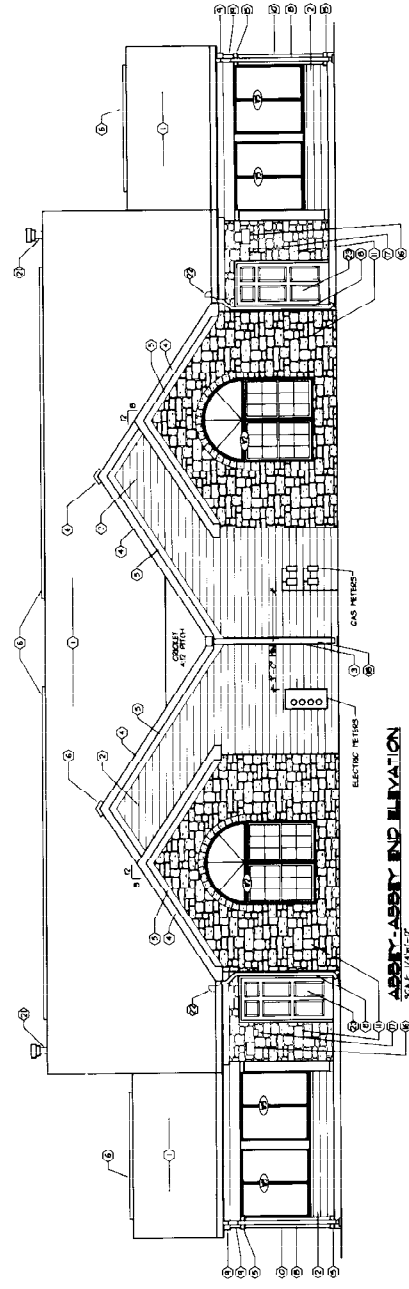


SHEET 24 OF 25
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DATE REVISION: 12-10-10
PREPARED BY:
CHECKED BY:
DATE:
PROJECT NUMBER: PKA

34585107
 11/11/2010 10:00 AM



ABBEY-ABBAY END ELEVATION
 SCALE 1/4"=1'-0"

WINDOW SCHEDULE: ABBEY

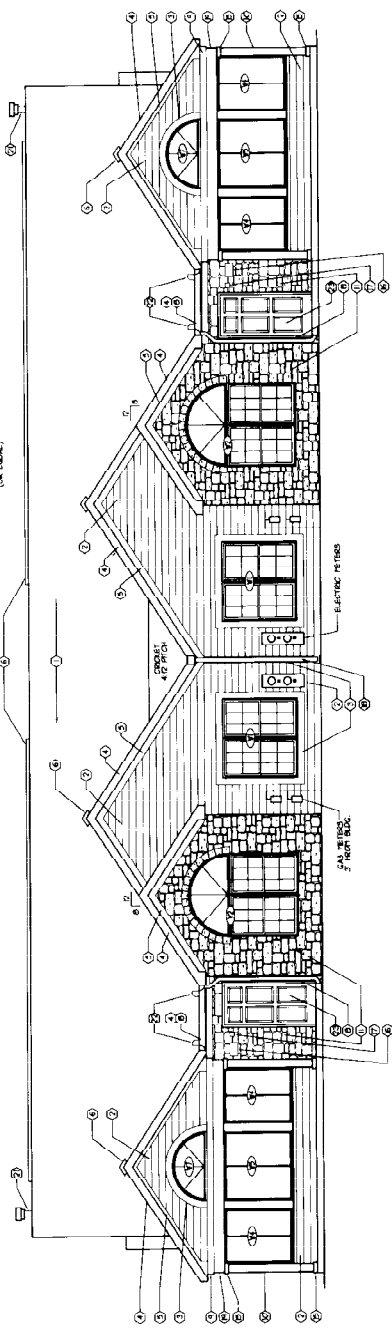
TYPE	SIZE	CLEAR OPENING	REMARKS	QUANTITY
1	12'-0" X 6'-0" / CIRCLE TOP	5.71 SF	TWIN W/VT SINGLE HUNG W/ FINED CIRCLE TOP, INSULATED	2
2	12'-0" X 6'-0" / CIRCLE TOP	5.71 SF	W/VT SINGLE HUNG, INSULATED	2
3	12'-0" X 6'-0" / CIRCLE TOP	5.71 SF	W/VT SINGLE HUNG, INSULATED	2
4	12'-0" X 6'-0" / CIRCLE TOP	5.71 SF	W/VT SINGLE HUNG, INSULATED	2
5	12'-0" X 6'-0" / CIRCLE TOP	5.71 SF	W/VT SINGLE HUNG, INSULATED	2
6	12'-0" X 6'-0" / CIRCLE TOP	5.71 SF	W/VT SINGLE HUNG, INSULATED	2
7	12'-0" X 6'-0" / CIRCLE TOP	5.71 SF	W/VT SINGLE HUNG, INSULATED	2
8	12'-0" X 6'-0" / CIRCLE TOP	5.71 SF	W/VT SINGLE HUNG, INSULATED	2
9	12'-0" X 6'-0" / CIRCLE TOP	5.71 SF	W/VT SINGLE HUNG, INSULATED	2
10	12'-0" X 6'-0" / CIRCLE TOP	5.71 SF	W/VT SINGLE HUNG, INSULATED	2
11	12'-0" X 6'-0" / CIRCLE TOP	5.71 SF	W/VT SINGLE HUNG, INSULATED	2
12	12'-0" X 6'-0" / CIRCLE TOP	5.71 SF	W/VT SINGLE HUNG, INSULATED	2
13	12'-0" X 6'-0" / CIRCLE TOP	5.71 SF	W/VT SINGLE HUNG, INSULATED	2
			TOTAL	13

- CODED NOTES**
- 1. FINISHES TO BE SHOWN ON THE DRAWING SHALL BE SHOWN ON THE DRAWING.
 - 2. FINISHES TO BE SHOWN ON THE DRAWING SHALL BE SHOWN ON THE DRAWING.
 - 3. FINISHES TO BE SHOWN ON THE DRAWING SHALL BE SHOWN ON THE DRAWING.
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 - 11. FINISHES TO BE SHOWN ON THE DRAWING SHALL BE SHOWN ON THE DRAWING.
 - 12. FINISHES TO BE SHOWN ON THE DRAWING SHALL BE SHOWN ON THE DRAWING.
 - 13. FINISHES TO BE SHOWN ON THE DRAWING SHALL BE SHOWN ON THE DRAWING.

WINDOW SCHEDULE: CANTERBURY

TYPE	SIZE	CLEAR OPENING	REMARKS	QUANTITY
1	12'-0" X 6'-0" / CIRCLE TOP	5.71 SF	TWIN W/VT SINGLE HUNG, INSULATED	2
2	12'-0" X 6'-0" / CIRCLE TOP	5.71 SF	W/VT SINGLE HUNG, INSULATED	2
3	12'-0" X 6'-0" / CIRCLE TOP	5.71 SF	W/VT SINGLE HUNG, INSULATED	2
4	12'-0" X 6'-0" / CIRCLE TOP	5.71 SF	W/VT SINGLE HUNG, INSULATED	2
5	12'-0" X 6'-0" / CIRCLE TOP	5.71 SF	W/VT SINGLE HUNG, INSULATED	2
6	12'-0" X 6'-0" / CIRCLE TOP	5.71 SF	W/VT SINGLE HUNG, INSULATED	2
7	12'-0" X 6'-0" / CIRCLE TOP	5.71 SF	W/VT SINGLE HUNG, INSULATED	2
8	12'-0" X 6'-0" / CIRCLE TOP	5.71 SF	W/VT SINGLE HUNG, INSULATED	2
9	12'-0" X 6'-0" / CIRCLE TOP	5.71 SF	W/VT SINGLE HUNG, INSULATED	2
10	12'-0" X 6'-0" / CIRCLE TOP	5.71 SF	W/VT SINGLE HUNG, INSULATED	2
11	12'-0" X 6'-0" / CIRCLE TOP	5.71 SF	W/VT SINGLE HUNG, INSULATED	2
12	12'-0" X 6'-0" / CIRCLE TOP	5.71 SF	W/VT SINGLE HUNG, INSULATED	2
13	12'-0" X 6'-0" / CIRCLE TOP	5.71 SF	W/VT SINGLE HUNG, INSULATED	2
			TOTAL	13

- NOTES**
- 1. FINISHES TO BE SHOWN ON THE DRAWING SHALL BE SHOWN ON THE DRAWING.
 - 2. FINISHES TO BE SHOWN ON THE DRAWING SHALL BE SHOWN ON THE DRAWING.
 - 3. FINISHES TO BE SHOWN ON THE DRAWING SHALL BE SHOWN ON THE DRAWING.
 - 4. FINISHES TO BE SHOWN ON THE DRAWING SHALL BE SHOWN ON THE DRAWING.
 - 5. FINISHES TO BE SHOWN ON THE DRAWING SHALL BE SHOWN ON THE DRAWING.
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 - 11. FINISHES TO BE SHOWN ON THE DRAWING SHALL BE SHOWN ON THE DRAWING.
 - 12. FINISHES TO BE SHOWN ON THE DRAWING SHALL BE SHOWN ON THE DRAWING.
 - 13. FINISHES TO BE SHOWN ON THE DRAWING SHALL BE SHOWN ON THE DRAWING.



CANTERBURY-CANTERBURY END ELEVATION
 SCALE 1/4"=1'-0"

NOTES
 BLDG. # TYPE 6

THE CROSSINGS AT NORTHWEST
 CONDORUM DEVELOPMENT
 PHASE I
 EXHIBIT "B"
 CATHEDRAL STYLE
 ELEVATION VIEWS



SHEET 27 OF 28

C-4.2C

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DATE REVISIONS

NO.	DATE	DESCRIPTION
1	11-20-10	DATE REVISIONS

DATE REVISIONS

NO.	DATE	DESCRIPTION
1	11-20-10	DATE REVISIONS

PROJECT INFORMATION

Project Name: _____
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 Scale: _____
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 Drawing By: _____
 Drawing Check: _____
 Drawing Date: _____

